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GENERAL NOTES:

- DRAWINGS ARE BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION FROM MULTIPLE SOURCES BY SITELINES, P.A.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES AND IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-800-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IN AREAS OF POTENTIAL CONFLICTS TEST PITS SHALL BE REQUIRED TO VERIFY EXISTING UTILITY LOCATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- RIM ELEVATIONS OF PROPOSED SANITARY SEWER MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE WITHIN LIMITS OF WORK.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, CABLE AND FIRE ALARM). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER AND ARCHITECT.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, SIZE, INVERTS AND TYPES OF EXISTING PIPES AT ALL PROPOSED POINTS OF CONNECTION PRIOR TO ORDERING MATERIALS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATIONS, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE CONSTRUCTION MANAGER REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS AND GRADES BEFORE WORK BEGINS. CONTRACTOR SHALL CONFIRM LOCATION AND DEPTH ALL UTILITY LINE CROSSINGS WITH TEST PITS PRIOR TO BEGINNING WORK. CONFLICTS SHALL BE REPORTED IN WRITING TO CONSTRUCTION MANAGER FOR RESOLUTION OF THE CONFLICT.
- ALL AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ALL AREAS DISTURBED DURING CONSTRUCTION NOT COVERED WITH BUILDINGS, STRUCTURES, OR PAVEMENT SHALL RECEIVE 4 INCHES OF LOAM AND SEED.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AND SHALL BE RESPONSIBLE FOR PAYING ANY FEES FOR ANY POLE RELOCATION AND FOR THE ALTERATION OR ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, CABLE, FIRE ALARM AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS AND AS SPECIFIED.
- ALL PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE RESET TO THEIR ORIGINAL LOCATION BY A MAINE REGISTERED LICENSED PROFESSIONAL LAND SURVEYOR (PLS) AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PREPARE AN AS-BUILT PLAN SURVEY SHOWING LOCATIONS OF ALL SURFACE FEATURES AND SUBSURFACE UTILITY SYSTEMS INCLUDING THE LOCATION TYPE, SIZE AND INVERTS.
- THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO EARTHWORK OPERATION AND MAINTAIN ALL EROSION CONTROL MEASURES AND SEEDING EMBANKMENTS DURING CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED ONLY UPON THE ESTABLISHMENT OF ALL LANDSCAPED AREAS. ALL WORK SHALL BE IN COMPLIANCE WITH THE ENVIRONMENTAL QUALITY HANDBOOK FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION, AS ADOPTED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- ALL MATERIALS AND CONSTRUCTION METHODS USED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL LOCAL MUNICIPL STANDARDS AND MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- THE CONTRACTOR IS REQUIRED TO CONTROL DUST DURING CONSTRUCTION. EXPOSED SOIL AREAS SHALL BE SPRAYED WITH WATER AS NEEDED TO CONTROL DUST EMISSIONS. COVER EXPOSED SOIL AREAS AS QUICKLY AS PRACTICAL TO PREVENT WINDS FROM GENERATING DUST.
- ALL HANDICAP ACCESSIBLE PARKING SPACES, RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- ALL SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.
- ALL MATERIALS SHALL BE NEW AND PROVIDED BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE NOTIFICATION TO THE NAVY COORDINATOR PRIOR TO START OF CONSTRUCTION.

LAYOUT NOTES:

- ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR FOUNDATION.
- OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE HALF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- BOUNDARY INFORMATION ON LAYOUT PLAN IS FOR REFERENCE ONLY, REFER TO CERTIFIED BOUNDARY PLANS FOR BOUNDARY INFORMATION.

GRADING AND DRAINAGE NOTES:

- UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603. PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:

POLYVINYL CHLORIDE PIPE (PVC) SDR 35
SMOOTH BORE POLYETHYLENE PIPE - HDPE N-12 ADS OR SDR 35
- TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION TO BE DESIGNATED BY OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFF SITE.
- THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.

PERMITTING REQUIREMENTS:

AGENCY:	PERMIT:	STATUS:
TOWN OF BRUNSWICK	MAJOR DEVELOPMENT REVIEW BUILDING PERMIT	PENDING (BY CONTRACTOR)

WET STORAGE PROCESSING BUILDING

TAX MAP MP3, LOT 1

PREPARED FOR:
1000 MERE POINT LLC
37 W MARGINAL WAY
BRUNSWICK, MAINE 04011

TOWN/UTILITY CONTACTS

CODE ENFORCEMENT

MIKE PINDELL
TOWN OF BRUNSWICK
85 UNION STREET
BRUNSWICK, MAINE 04011
207-725-6650

ELECTRIC SERVICE

CENTRAL MAINE POWER
280 BATH ROAD
BRUNSWICK, MAINE 04011
207-721-8054

TELEPHONE SERVICE

FAIRPOINT
BATH ROAD (P.O. BOX 360)
BRUNSWICK, MAINE 04011
207-442-8018

CABLE SERVICE

COMCAST CONSTRUCTION
OFFICE
336 BATH ROAD
BRUNSWICK, MAINE, 04011
207-729-6660

TOWN ENGINEER

TREY CREWS, P.E.
85 UNION STREET
BRUNSWICK, MAINE 04011
207-725-6659

WATER SERVICE

BRUNSWICK-TOPSHAM WATER DISTRICT
T.C. SCHOFIELD, P.E.
P.O. BOX 489
TOPSHAM, MAINE 04086
207-729-9956

SANITARY SEWER

BRUNSWICK SEWER DISTRICT
ROBERT PONTAU, GENERAL MANAGER
10 PINE TREE ROAD
BRUNSWICK, MAINE 04011
PHONE: 207-729-0148

PUBLIC WORKS DEPARTMENT

JAY ASTLE, PUBLIC WORKS DIRECTOR
9 INDUSTRY ROAD
BRUNSWICK, MAINE 04011
207-725-6654

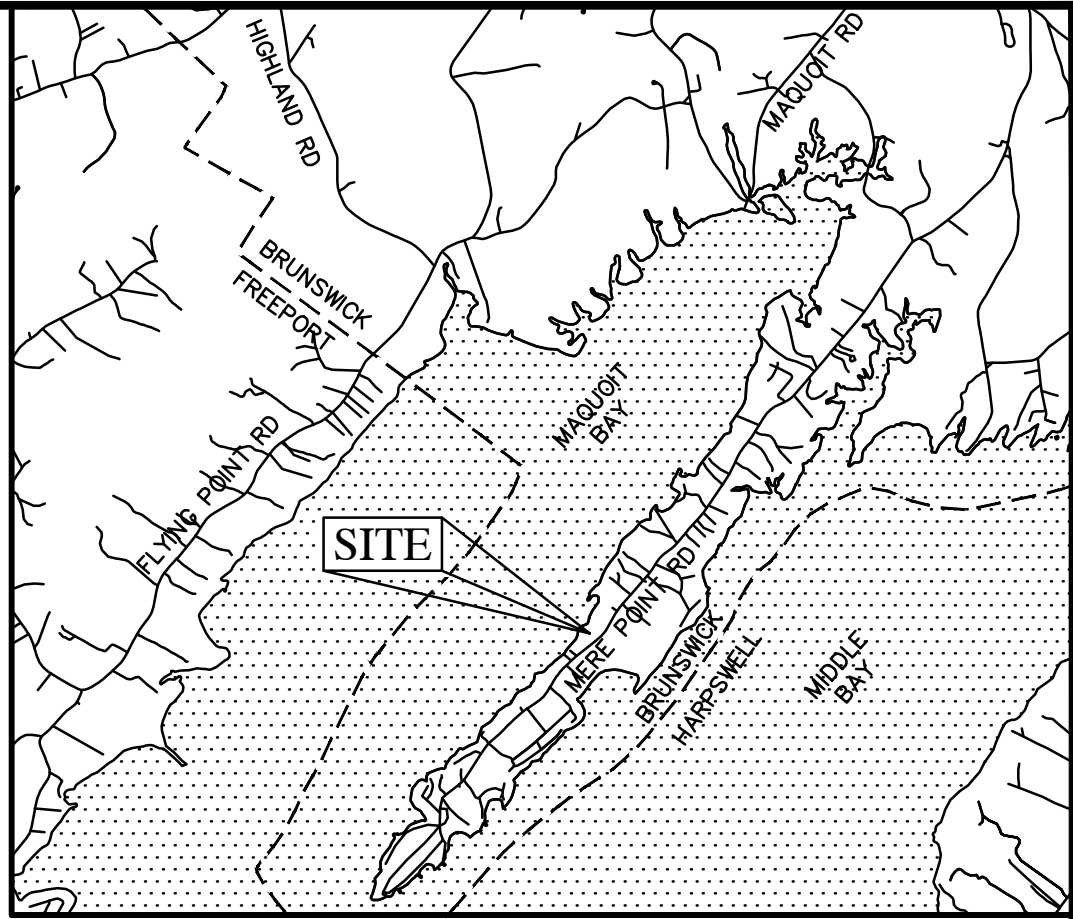
BRUNSWICK FIRE DEPARTMENT

KENNETH BRILLANT, FIRE CHIEF
21 TOWN HALL PLACE
BRUNSWICK, MAINE 04011
207-725-5541

TOWN ARBORIST

DENNIS WILSON
22 NEPTUNE DRIVE
BRUNSWICK, MAINE 04011
207-725-6656

SHEET INDEX		
SHEET #	SHEET TITLE:	SCALE:
C1	COVER SHEET	NTS
1	BOUNDARY & TOPOGRAPHIC SURVEY FOR MERE POINT OYSTER COMPANY	1"=30'
C2	EXISTING CONDITIONS AND DEMOLITION PLAN	1"=30'
C3	SITE DEVELOPMENT PLAN	1"=30'
C4	GRADING AND DRAINAGE PLAN	1"=30'
C5	EROSION CONTROL PLAN	1"=30'
C6	SITE DEVELOPMENT DETAILS	NTS
C7	EROSION CONTROL NOTES	NTS
L1	LANDSCAPE PLAN (BY LAND DESIGN SOLUTIONS)	1"=30'
L2	LIGHTING PLAN	1"=30'



LOCATION MAP
NOT TO SCALE

LEGEND

EXISTING		PROPOSED
●	IRON MARKER FOUND	○
5/8" REBAR TOPPED WITH AN ALUMINUM I.D. CAP		
MANHOLE/CATCH BASIN		
SEWER MANHOLE		
FIRE HYDRANT		
WATER GATE VALVE		
WATER SHUT-OFF		
BLOW-OFF/CLEAN-OUT		
UTILITY POLE		
UTILITY LINE		
PROPERTY LINE		
EASEMENTS		
SETBACK/BUFFER		
STREAM		
CURB		
EDGE OF PAVEMENT		
BUILDING		
STORM DRAIN(SEE PLAN FOR SIZE)		
SEWER LINE(SEE PLAN FOR SIZE)		
WATER LINE(SEE PLAN FOR SIZE)		
UNDERDRAIN(SEE PLAN FOR SIZE)		
SLOPE ARROW		
CONTOURS		
TREE LINE		
STEEP SLOPES IN SPO		
RIPRAP		
REGULAR PAVEMENT		
POROUS PAVEMENT		
SPOT GRADE		
WETLAND BOUNDARY		

3.	01-23-26	SUBMITTED TO TOWN FOR FINAL PLAN REVIEW	JJM
2.	10-22-25	REVISED PER STAFF REVIEW COMMENTS	JJM
1.	09-25-25	SUBMITTED TO TOWN FOR SKETCH PLAN REVIEW	JJM

TITLE:

COVER SHEET

PROJECT:

WET STORAGE PROCESSING BUILDING
MERE POINT ROAD, BRUNSWICK, MAINE 04011

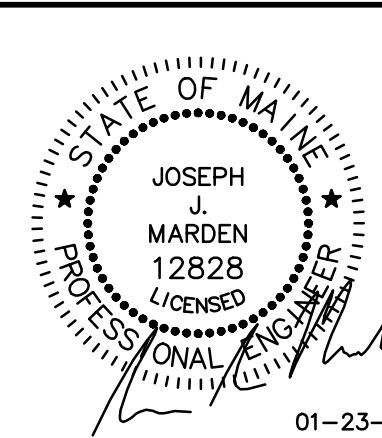
OWNER:

1000 MERE POINT LLC
37 W MARGINAL WAY, BRUNSWICK, MAINE 04011

SITELINES
119 PURINTON ROAD, SUITE A
BRUNSWICK, MAINE 04011
207.725.1200
CIVIL ENGINEERS • PLANNERS • LAND SURVEYORS

FIELD WK: CH, MC, & CR	SCALE: NTS	SHEET: C1
DRN BY: JJM	JOB #: 5128	
CHD BY: JJM	MAP/LOT: MP3/I	
DATE: 06-10-2025	FILE: 5128-COV-DET	

PROGRESS PRINT
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.



ISSUED FOR:
PERMITTING REVIEW

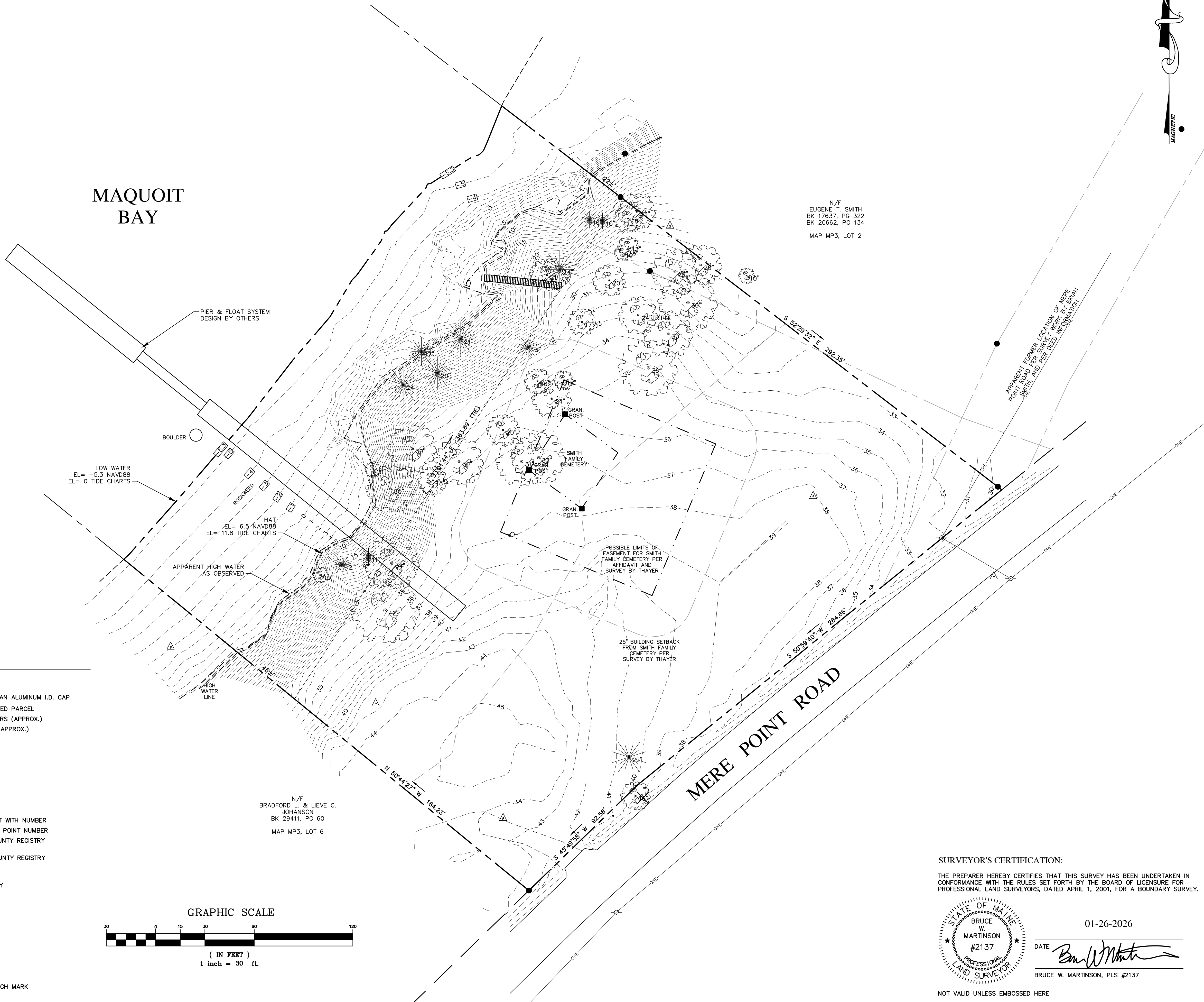
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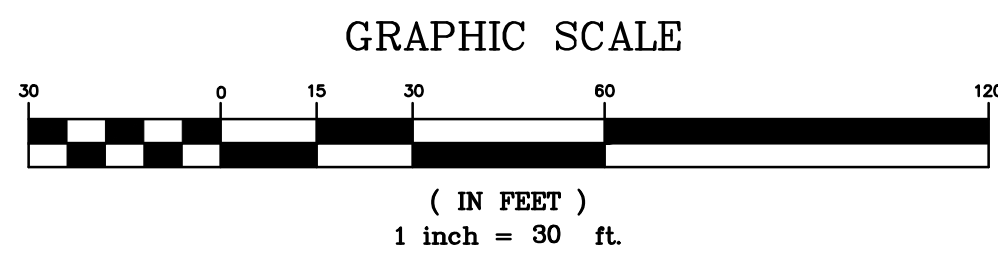
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Know what's below
Call before you dig.

STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG. GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



LEGEND	
	MONUMENT FOUND
	IRON MARKER FOUND
	5/8" REBAR TOPPED WITH AN ALUMINUM I.D. CAP
	BOUNDARY LINE OF SURVEYED PARCEL
	BOUNDARY LINE OF ABUTTERS (APPROX.)
	ROAD RIGHT OF WAY LINE (APPROX.)
	COMPUTATIONAL TIE LINE
	STONE WALL (APPROX.)
	EDGE OF TRAVELED WAY
	UTILITY LINE
	UTILITY POLE WITH NUMBER
	IRON PIPE FOUND
	IRON ROD FOUND
	DRILL HOLE
	ARBITRARY TRAVERSE POINT WITH NUMBER
	ARBITRARY COMPUTATIONAL POINT NUMBER
	DEED BOOK & PAGE IN COUNTY REGISTRY OF DEEDS
	PLAN BOOK & PAGE IN COUNTY REGISTRY OF DEEDS
	RIGHT OF WAY
	NOW OR FORMERLY HELD BY
	ACRES
	MORE OR LESS
	SEWER MANHOLE
	LIGHT POLE
	CATCH BASIN
	WATER SHUT OFF
	HYDRANT
	SIGN
	WATER VALVE
	ELEVATION TEMPORARY BENCH MARK
	TEST PIT



- NOTES:
- TITLE REFERENCE FOR SURVEYED PARCEL:
BK 38836, PG 331
BK 20662, PG 134
BK 11958, PG 32
 - PLAN REFERENCE(S):
a) PLAN ENTITLED, "SKETCH PLAN - LAND OF KEN WISE", DATED JUNE 26, 2000, BY BRIAN SMITH SURVEYING, INC. (PREDECESSOR TO SITELINES), ON FILE WITH PREPARER.
b) PLAN ENTITLED, "STANDARD BOUNDARY SURVEY - LAND OF EUGENE T. & MAY C. SMITH", DATED MARCH 20, 2003, BY BRIAN SMITH SURVEYING, INC. (PREDECESSOR TO SITELINES), ON FILE WITH PREPARER.
c) PLAN ENTITLED, "PLAN OF BOUNDARY & TOPOGRAPHIC SURVEY - LEANNE ROBBIN", DATED MARCH 14, 2008, BY THAYER ENGINEERING, CO., ON FILE WITH PREPARER.
d) PLAN ENTITLED, "BUILDING PERMIT SKETCH OF JOHANSON LOT", DATED JULY 26, 2012, BY BRIAN SMITH SURVEYING, INC. (PREDECESSOR TO SITELINES), ON FILE WITH PREPARER.
 - AREA INFORMATION:
101,050 SQ. FT., OR 2.319 ACRES
 - TAX MAP REFERENCE:
TAX MAP MP 3, LOT 1.
 - BASIS OF BEARINGS:
BEARINGS ARE GRID BASED GPS OBSERVATIONS.
 - ROAD INFORMATION:
MERE POINT ROAD IS PER PLANS REFERENCED IN NOTE 2(a) THROUGH 2(d) ABOVE. LOCATION IS BASED ON EVIDENCE FOUND.
 - CONTOUR INFORMATION:
ELEVATION DATUM IS NAVD88, BASED ON GPS OBSERVATIONS. BATHYMETRIC SURVEY WAS DONE BY ATLANTIC ENVIRONMENTAL.
 - LITTORAL BOUNDARIES:
THE SIDELINES OF THE SUBJECT PARCEL WERE SET AS SHOWN, EXTENDING TO LOW WATER, BY DEED (SOUTHWEST LINE) AND BOUNDARY LINE AGREEMENT (NORTHEAST LINE).

BOUNDARY & TOPOGRAPHIC SURVEY FOR MERE POINT OYSTER COMPANY		
ON LAND OF 1000 MERE POINT, LLC (OWNER OF RECORD)		
1000 MERE POINT ROAD BRUNSWICK, MAINE		
 SITELINES 119 PURINTON ROAD, SUITE A BRUNSWICK, MAINE 04011 207.725.1200 CIVIL ENGINEERS • PLANNERS • LAND SURVEYORS		
FIELD WK: MC,CR,CH	SCALE: 1" = 30'	SHEET:
DRN BY: BWM	JOB #: 4619	
CHD BY: BWM	MAP/LOT:	
DATE: 09-25-2022	FILE:	

SURVEYOR'S CERTIFICATION:

THE PREPARER HEREBY CERTIFIES THAT THIS SURVEY HAS BEEN UNDERTAKEN IN CONFORMANCE WITH THE RULES SET FORTH BY THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS, DATED APRIL 1, 2001, FOR A BOUNDARY SURVEY.

STATE OF MAINE
BRUCE W. MARTINSON
#2137
PROFESSIONAL
LAND SURVEYOR

DATE 01-26-2026

BRUCE W. MARTINSON, PLS #2137

NOT VALID UNLESS EMBOSSED HERE

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- C:\USERS\JOE\ONE DRIVE - SITELINES PA\GENERAL\SLDATA\NEWLAND PROJECTS\5128-SITE DWG. C2-EX. 1/26/2026 1:13:23 PM, JOE

SPD-RP
(TMA 100-YEAR
FLOOD PLAN-EL-14)

LOW WATER
EL = -5.3 NAVD88
EL = 0 TIDE CHARTS

HAT
EL = 6.5 NAVD88
EL = 11.8 TIDE CHARTS
APPARENT HIGH WATER
AS OBSERVED

ROCKWEED

STEEP SLOPES
WITHIN SPO

N/F
BRADFORD L. & LIEVE C.
JOHANSON
BK 29411, PG 60
MAP MP3, LOT 6

25.00' SIDE
SETBACK

N 50° 42' 27" W 184.23'

NO TREES WITHIN 75' SPO
SETBACK SHALL BE REMOVED
WITHOUT APPROVAL FROM THE
TOWN OF BRUNSWICK (TYP.)

POSSIBLE LIMITS OF
EASEMENT FOR SMITH
FAMILY CEMETERY PER
SURVEY BY THAYER

25' BUILDING SETBACK
FROM SMITH FAMILY
CEMETERY PER
SURVEY BY THAYER

REMOVE TREE

REMOVE EXISTING
CULVERT

REMOVE TREE

SAWCUT
PAVEMENT

TP 1

TP 2

TP 3

30' TRAVEL
WAY

S 57° 29' 30" E 282.35'

S 52° 29' 30" E 282.35'

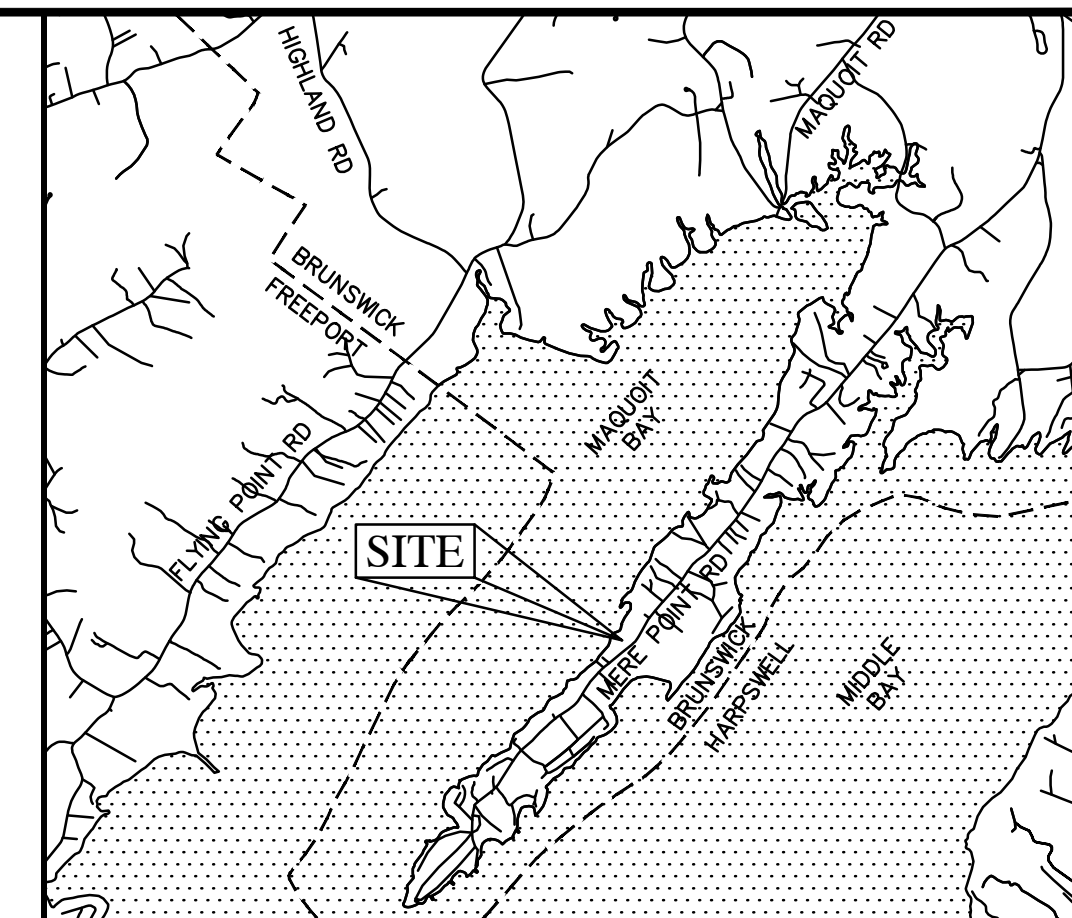
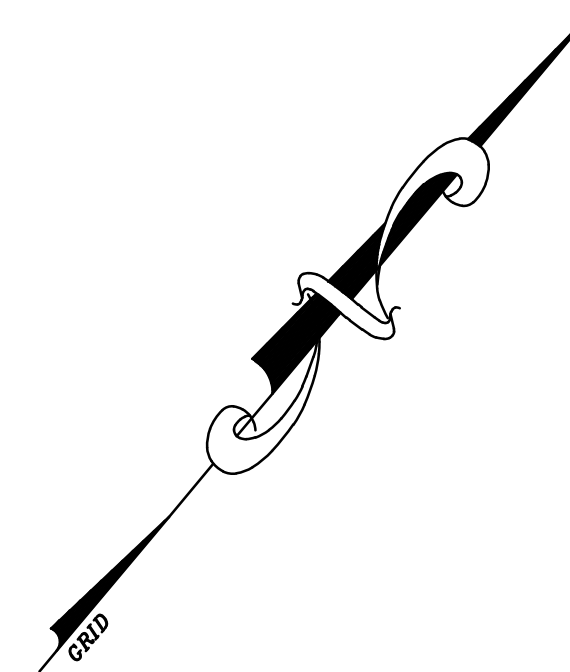
S 50° 59' 40" W 284.66'

MERE POINT ROAD

SPEED LIMIT: 40 MPH

WETLANDS
(TYP.)

N/F
EUGENE T. SMITH
BK 17637, PG 322
BK 20662, PG 134
MAP MP3, LOT 2



LOCATION MAP
NOT TO SCALE

THIS PLAN DEPICTS CONDITIONS FOUND AND SURVEYED BY SITELINES PA AS OF XXX
2019. SUPPORTING DATA IS FROM THE INFORMATION BELOW.

- | | | | |
|----|----------|--|----|
| 3. | 01-23-26 | SUBMITTED TO TOWN FOR FINAL PLAN REVIEW | JJ |
| 2. | 10-22-25 | REVISED PER STAFF REVIEW COMMENTS | JJ |
| 1. | 09-25-25 | SUBMITTED TO TOWN FOR SKETCH PLAN REVIEW | JJ |

PROJECT: WET STORAGE PROCESSING BUILDING
MERE POINT ROAD, BRUNSWICK, MAINE 04011

PREPARED FOR: 1000 MERE POINT LLC
37 W MARGINAL WAY, BRUNSWICK, MAINE 04011



CIVIL ENGINEERS ■ PLANNERS ■ LAND SURVEYORS		
FIELD WK: CH, MC, & CR	SCALE: 1"=30'	SHEET: C2
DRN BY: JJM	JOB #: 5128	
CH'D BY: JJM	MAP/LOT: MP3/1	
DATE: 06-10-2025	FILE: 5128-SITE	

C2

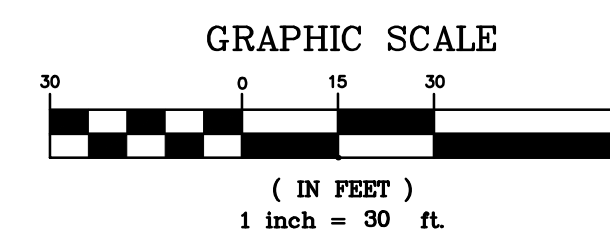
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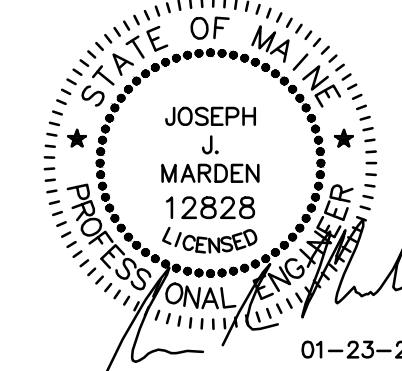
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Know what's below
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STATE LAW REQUIRES ADVANCE NOTICE
OF AT LEAST 3 BUSINESS DAYS BEFORE
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MARKING OF UNDERGROUND UTILITIES

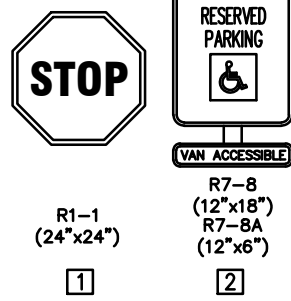


ISSUED FOR:
PERMITTING REVIEW

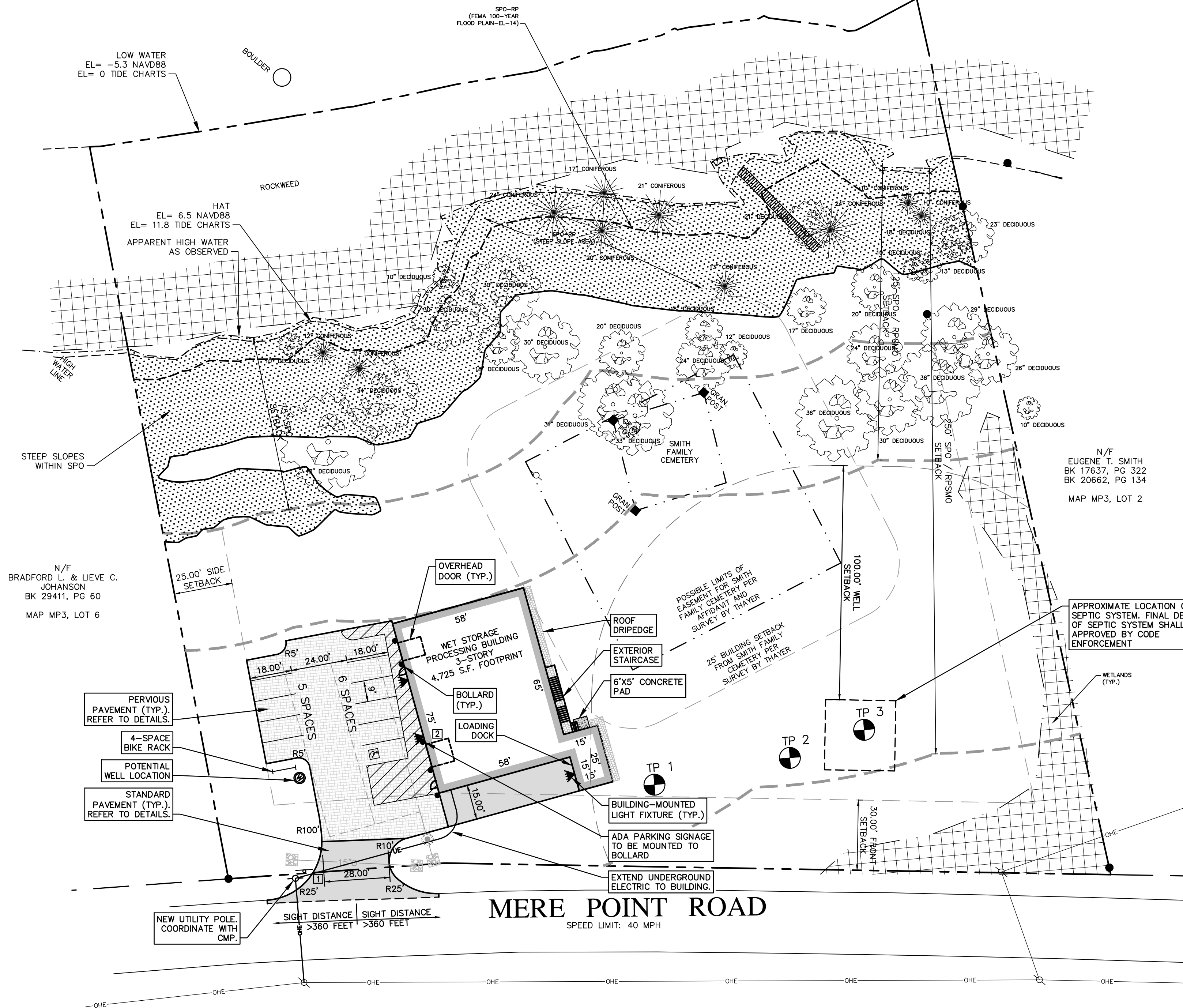


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SIGN LEGEND:



MAQUOIT BAY



LAYOUT NOTES:

1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR FOUNDATION.
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3. ALL HANDICAP ACCESSIBLE PARKING SPACES, RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
4. ALL SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. (MUTCD)
5. BUILDING FOUNDATION SHOWN IS NOT FOR FOUNDATION LAYOUT. COORDINATE SITE WORK WITH ARCHITECTURAL DRAWINGS INCLUDING BUILDING FEATURES AND FOUNDATION PLAN.

RURAL PROTECTION 1 ZONING DISTRICT (RP1)		
ZONING STANDARD	REQUIRED	PROPOSED
MIN. LOT SIZE:	4 ACRES*	2.32 ACRES
MIN. LOT WIDTH:	125'	368.4'
MIN. SETBACK:		
FRONT:	30'	30.5'
REAR:	30'	219.5'
SIDE:	25'	90'
MAX. HEIGHT:	40'	<40'
MAX. FOOTPRINT:	10,000 S.F.	4,725 S.F.
MAX. IMPERVIOUS COVERAGE:	35%**	10,325 S.F.
NEW LAWN AREA FOR WOODED SITES:	20,000 S.F.	N/A

*ANY LOT IN EXISTENCE ON OCTOBER 9, 1991, LOCATED WITHIN THE RP1 DISTRICT AND HAVING ATLEAST 160,000 S.F. BUT LESS THAN 10 ACRES, MAY BE DIVIDED INTO 2 LOTS PROVIDED THAT NEITHER LOT HAS AN AREA OF LESS THAN 20,000 S.F.

**FOR LOTS LESS THAN 2.5 ACRES, THE MAX. IMPERVIOUS COVERAGE IS THE LESSER OF 35% OR 10,890 S.F.

LOCATION MAP
NOT TO SCALE

GENERAL NOTES:

1. **TITLE REFERENCE FOR SURVEYED PARCEL:**
BK 38836, PG 331
BK 20662, PG 134
BK 11958, PG 32
2. **PLAN REFERENCE(S):**
a) PLAN ENTITLED, "SKETCH PLAN - LAND OF KEN WISE", DATED JUNE 26, 2000, BY BRIAN SMITH SURVEYING, INC. (PREDECESSOR TO SITELINES), ON FILE WITH PREPARER.
b) PLAN ENTITLED, "STANDARD BOUNDARY SURVEY - LAND OF EUGENE T. & MAY C. SMITH", DATED MARCH 20, 2003, BY BRIAN SMITH SURVEYING, INC. (PREDECESSOR TO SITELINES), ON FILE WITH PREPARER.
c) PLAN ENTITLED, "PLAN OF BOUNDARY & TOPOGRAPHIC SURVEY - LEANNE ROBBIN", DATED MARCH 14, 2008, BY THAYER ENGINEERING, CO., ON FILE WITH PREPARER.
d) PLAN ENTITLED, "BUILDING PERMIT SKETCH OF JOHANSON LOT", DATED JULY 26, 2012, BY BRIAN SMITH SURVEYING, INC. (PREDECESSOR TO SITELINES), ON FILE WITH PREPARER.
3. **AREA INFORMATION:**
LOT AREA: 101,050 SQ. FT., OR 2.319 ACRES
4. **TAX MAP REFERENCE:**
TAX MAP MP3, LOT 1
5. **BASIS OF BEARINGS:**
BEARINGS ARE GRID BASED GPS OBSERVATIONS.
6. **CONTOUR INFORMATION:**
ELEVATION DATUM IS NAVD88, BASED ON GPS OBSERVATIONS. BATHYMETRIC SURVEY WAS DONE BY ATLANTIC ENVIRONMENTAL.
7. **LITTORAL BOUNDARIES:**
THE SIDELINES OF THE SUBJECT PARCEL WERE SET AS SHOWN, EXTENDING TO LOW WATER, BY DEED (SOUTHWEST LINE) AND BOUNDARY LINE AGREEMENT (NORTHEAST LINE).
8. **FLOOD ZONE INFORMATION:**
PARCEL IS LOCATED PARTIALLY WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AND PARTIALLY WITHIN ZONE VE (SPECIAL FLOOD HAZARD WITH BFE) OF THE FLOOD INSURANCE RATE MAPS FOR CUMBERLAND COUNTY, MAINE. THE PROJECT IS LOCATED ON COMMUNITY PANEL 23005C0559F, EFF. DATE JUNE 20, 2024.
9. **IMPERVIOUS AREA:**
EXISTING IMPERVIOUS AREA: 187 S.F. (0.00 AC)
PROPOSED IMPERVIOUS AREA: 11,657 S.F. (0.27 AC)
PERVIOUS PAVEMENT: 5,328 S.F. (0.12 AC)
PREVIOUS PAVEMENT CREDIT (25%): 1,332 S.F. (0.03 AC)
ADJUSTED PROPOSED IMPERVIOUS AREA: 10,325 S.F. (0.24 AC)

UTILITY NOTES:

1. INFORMATION REGARDING THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS A COMPILATION OF THAT FOUND IN THE FIELD AND THAT SHOWN ON A PREVIOUS PLANS, AND SHALL NOT BE CONSIDERED AN AS-BUILT PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING UTILITY LOCATIONS PRIOR TO COMMENCING WORK. NOTIFY ENGINEER OF ANY DISCREPANCY BETWEEN UTILITIES AS SHOWN AND AS FOUND. CONTRACTOR SHALL NOTIFY DIG-SAFE (811) PRIOR TO EXCAVATION.

UTILITY NOTES:

1. THE CONTRACTOR SHALL CONTACT DIGSAFE (811) PRIOR TO COMMENCING EXCAVATION.
2. THE BASIS FOR PROJECT LAYOUT AND FOR CONSTRUCTION ELEVATIONS IS THE BASELINE AND BENCHMARK EXISTING ON THE SITE AND SHOWN ON THE DRAWINGS.
3. THE CONTRACTOR SHALL CONFIRM HORIZONTAL AND VERTICAL CONTROL BEFORE BEGINNING WORK.
4. SEE PLUMBING AND ELECTRICAL PLANS FOR LOCATION AND INVERTS OF SLEEVES IN FOUNDATIONS.
5. ELECTRIC SERVICE SHALL BE INSTALLED IN CONDUIT UNDER PAVEMENT AND CONCRETE.
6. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL SEWER, WATER, ELECTRICAL, AND SANITARY CONDUIT, MANHOLES, TRANSFORMERS, AND FITTINGS FOR APPROVAL.
7. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
8. INSTALL 2" RIGID STYROFOAM INSULATION OVER SANITARY SEWER IN AREAS WHERE THERE IS LESS THAN 4' OF COVER.
9. CONNECTIONS AT MANHOLES/CATCH BASINS SHALL HAVE A FLEXIBLE BOOT CAST ONTO THE BARREL AND SECURED WITH STAINLESS STEEL BANDS.
10. SEE SHEET C4 FOR GRADING, DRAINAGE, AND STORM DRAIN DATA.
11. BUILDING FOOTPRINT SHOWN IS NOT FOR FOUNDATION LAYOUT. REFER TO STRUCTURAL/ARCHITECTURAL DRAWINGS.
12. ALL MATERIALS SHOWN SHALL BE NEW AND FURNISHED BY CONTRACTOR AS PART OF CONTRACT WORK. ONLY ITEMS SPECIFICALLY IDENTIFIED TO BE SALVAGED MAY BE RE-USED WITHOUT PRIOR WRITTEN PERMISSION.

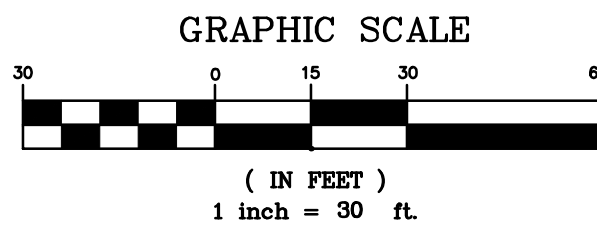
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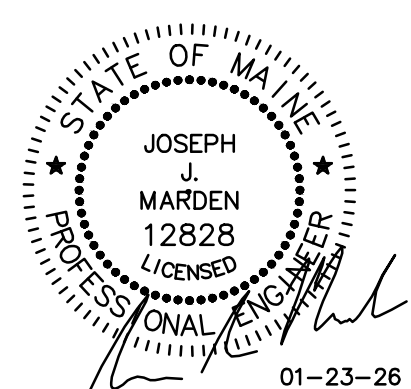
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Know what's below
Call before you dig.

STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



ISSUED FOR:
PERMITTING REVIEW

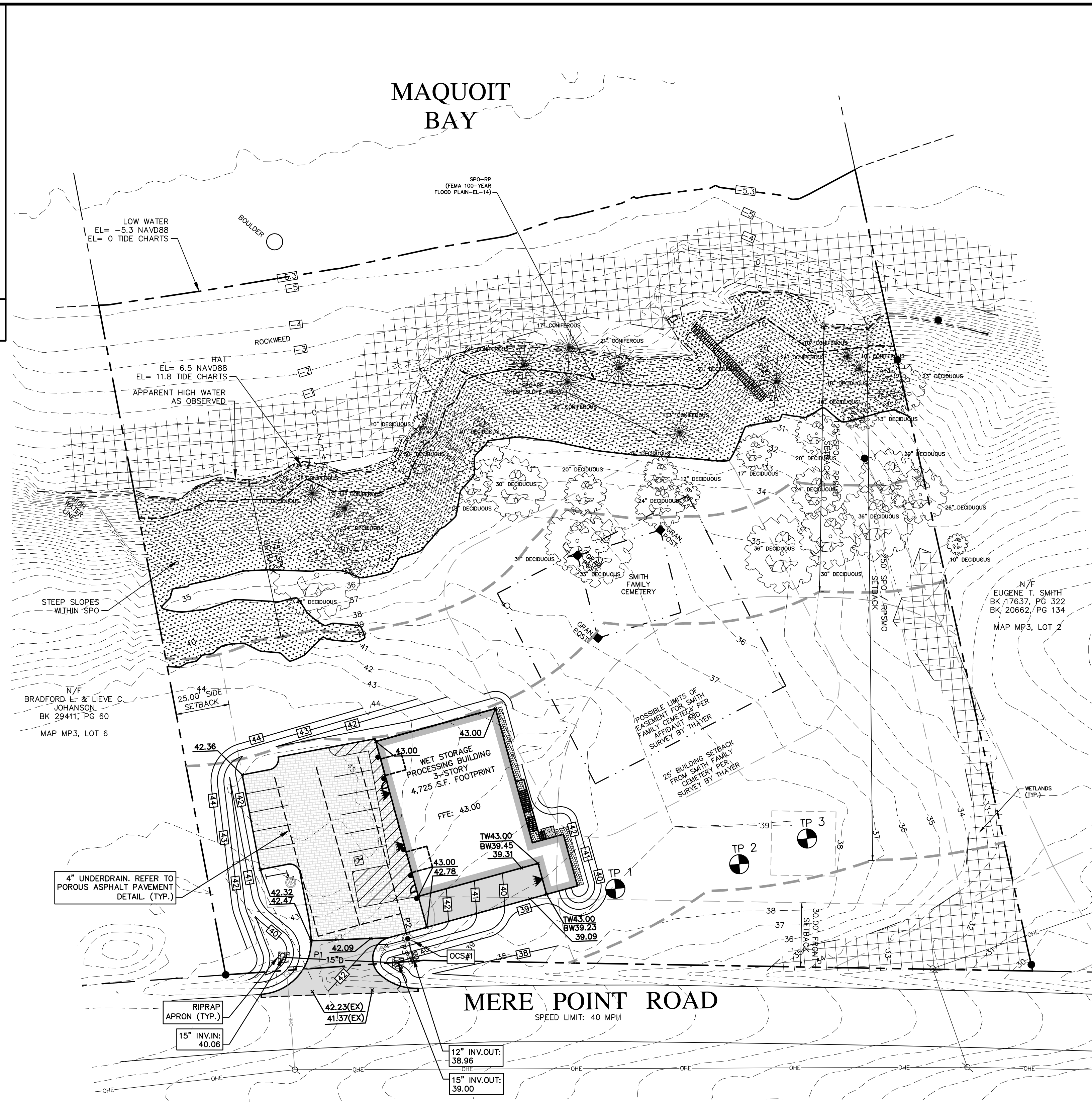
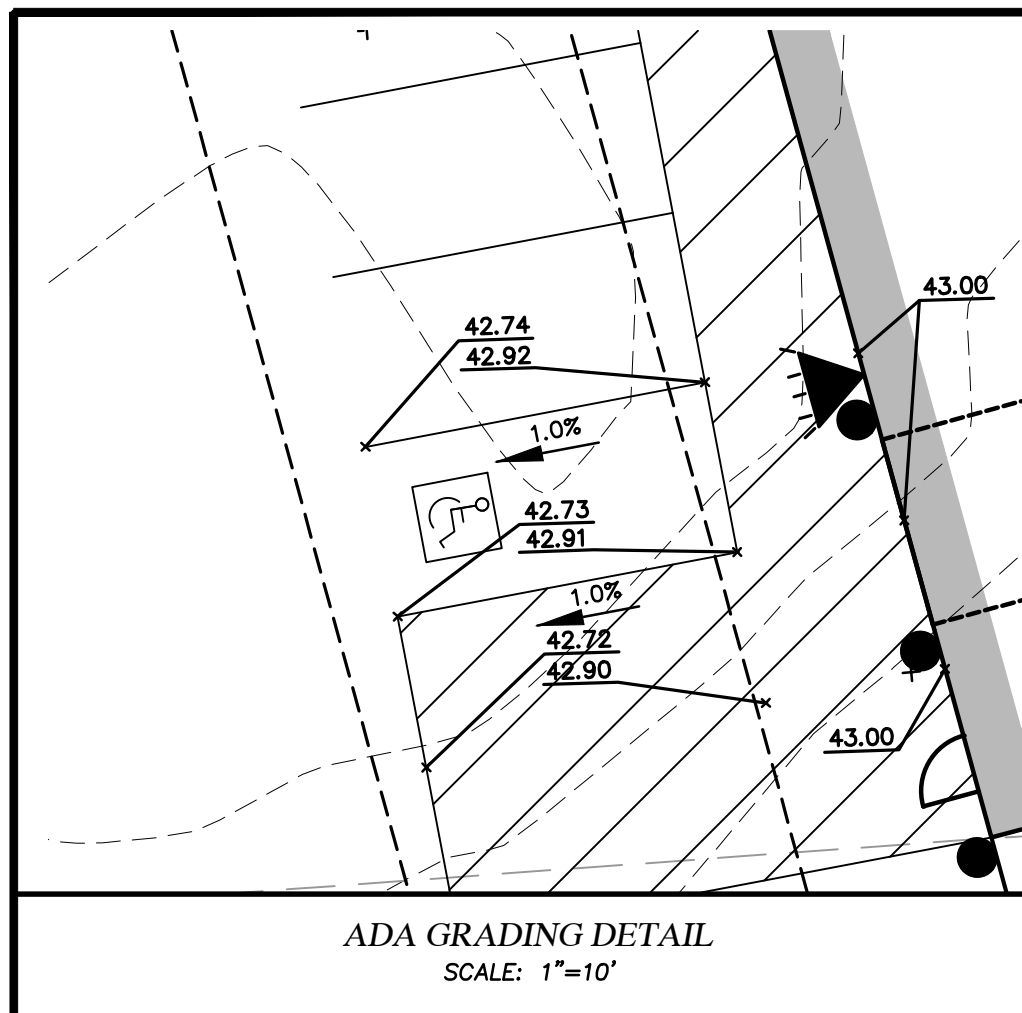


SITELINES
119 PURINTON ROAD, SUITE A
BRUNSWICK, MAINE 04011
207.725.1200
CIVIL ENGINEERS • PLANNERS • LAND SURVEYORS

FIELD WK: CH, MC, & CR	SCALE: 1"=30'	SHEET: C3
DRN BY: JJM	JOB #: 5128	
CH'D BY: JJM	MAP/LOT: MP3/I	
DATE: 06-10-2025	FILE: 5128-SITE	

3. 01-23-26 SUBMITTED TO TOWN FOR FINAL PLAN REVIEW JJM
2. 10-22-25 REVISED PER STAFF REVIEW COMMENTS JJM
1. 09-25-25 SUBMITTED TO TOWN FOR SKETCH PLAN REVIEW JJM

TITLE:	SITE DEVELOPMENT PLAN
PROJECT:	WET STORAGE PROCESSING BUILDING MERE POINT ROAD, BRUNSWICK, MAINE 04011
PREPARED FOR:	1000 MERE POINT LLC 37 W MARGINAL WAY, BRUNSWICK, MAINE 04011



GRADING AND DRAINAGE NOTES:

1. THE CONTRACTOR SHALL PHASE GRADING EFFORTS SUCH THAT TOTAL SITE DISTURBANCE IS MINIMIZED. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO GRADING EFFORTS OR WITHOUT DELAY UPON THEIR COMPLETION, DEPENDENT UPON THE SITUATION.
2. ALL FILL SLOPES SHALL BE A MINIMUM OF 3:1 HORIZONTAL TO VERTICAL UNLESS OTHERWISE NOTED OR DIRECTED.
3. THE LIMITS OF DISTURBANCE SHALL GENERALLY BE THE MINIMAL EXENT NECESSARY ONLY TO PERFORM THE GRADING EFFORTS SHOWN ON THE DRAWINGS. SPECIAL CARE SHALL BE TAKEN TO AVOID DISTURBANCE OF OBJECTS AND AREAS NOT SPECIFICALLY IDENTIFIED FOR MODIFICATION OR REMOVAL.
4. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IN ACCORDANCE WITH THE DRAWINGS, UNLESS INTENDED FOR OTHER SURFACE COVER.
5. STORM DRAINS SHALL BE CONSTRUCTED CONCURRENTLY WITH GRADING EFFORTS TO PROVIDE ADEQUATE CONVEYANCE FOR ANY SITE RUNOFF CONDITIONS.
6. WHERE FINAL GRADING HAS BEEN COMPLETED, SURFACE RESTORATION FOR DISTURBED AREAS WILL BE COMPLETED AS SOON AS PRACTICABLE. FOR VEGETATIVE AREAS, VEGETATION WILL BE PROGRESSIVELY ESTABLISHED.
7. UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDT SPECIFICATIONS SECTION 603. PIPE, CULVERTS AND STORM DRAINS, LATEST REVISION WITH ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
SMOOTH BORE POLYETHYLENE PIPE - HDPE N-12 ADS
8. BENCHMARK INFORMATION: CONTACT SITELINES, PA (207-725-1200)
9. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL DRAINAGE STRUCTURES AND PIPING PRIOR TO ORDERING.
10. RIM ELEVATIONS OF PROPOSED DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
11. TRANSITIONS BETWEEN SLOPES ARE TO BE GENERALLY GRADUAL AND RESULT IN A SMOOTH, ROUNDED APPEARANCE.

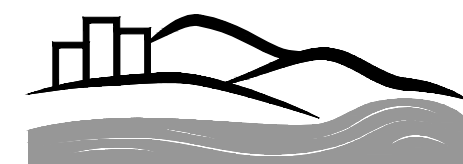
DRAINAGE STRUCTURE DATA:

OCS#1
RIM: 42.50
TOP OF BAFFLE WALL: 41.30
1" ORIFICE IN BAFFLE WALL: 39.13
INV.IN: 39.13 (4" FROM UNDERDRAIN)
INV.OUT: 39.03 (12" TO OUTFALL)

P1: 15" HDPE L=53' S=0.0200
P2: 4" PVC L=-10' S=0.0100
P3: 12" HDPE L=7' S=0.0100

3.	01-23-26	SUBMITTED TO TOWN FOR FINAL PLAN REVIEW	JJM
2.	10-22-25	REVISED PER STAFF REVIEW COMMENTS	JJM
1.	09-25-25	SUBMITTED TO TOWN FOR SKETCH PLAN REVIEW	JJM

TITLE:	GRADING AND DRAINAGE PLAN
PROJECT:	WET STORAGE PROCESSING BUILDING MERE POINT ROAD, BRUNSWICK, MAINE 04011
PREPARED FOR:	1000 MERE POINT LLC 37 W MARGINAL WAY, BRUNSWICK, MAINE 04011



SITELINES
119 PURINTON ROAD, SUITE A
BRUNSWICK, MAINE 04011
207.725.1200

FIELD WK: CH, MC, & CR	SCALE: 1"=30'	SHEET: C4
DRN BY: JJM	JOB #: 5128	
CHD BY: JJM	MAP/LOT: MP3/1	
DATE: 06-10-2025	FILE: 5128-SITE	

C4

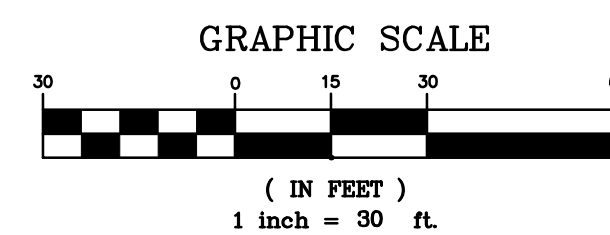
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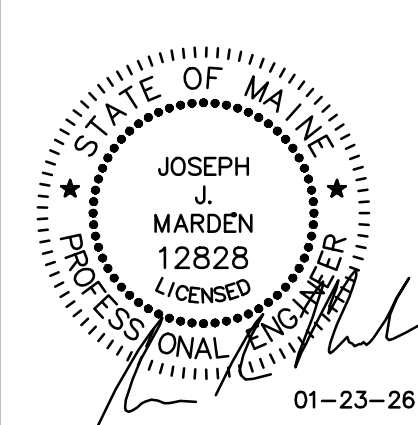
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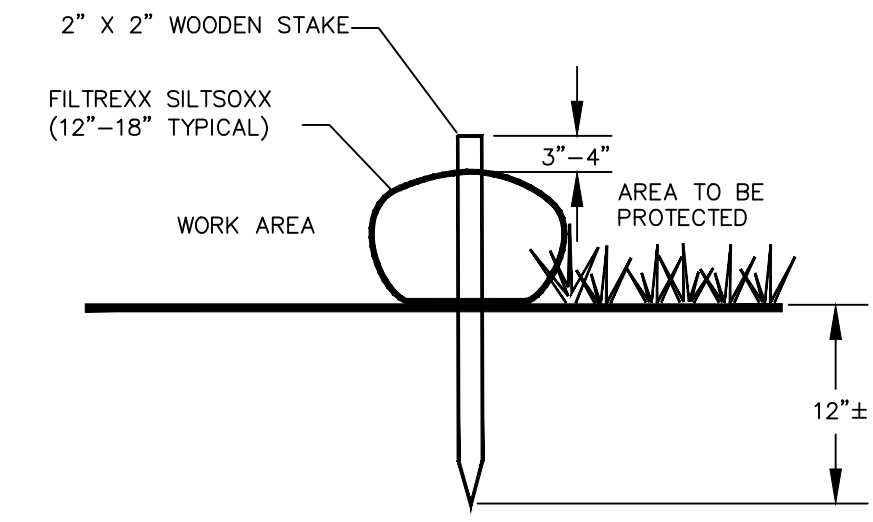


ISSUED FOR:
PERMITTING REVIEW

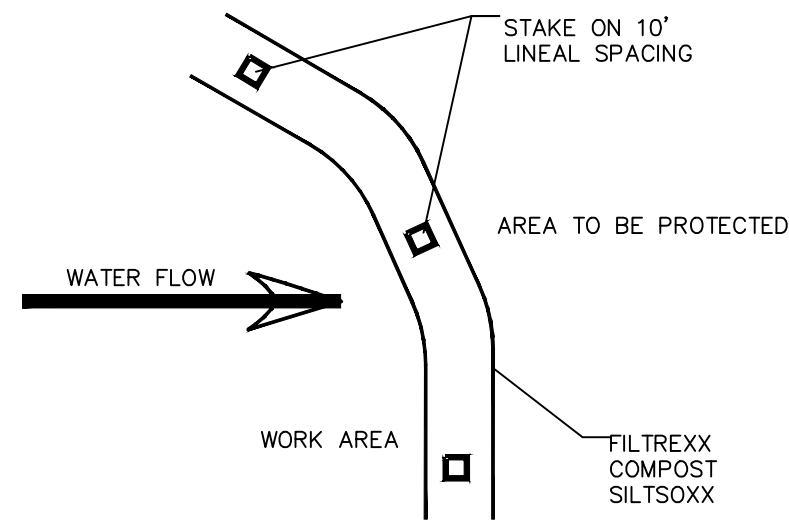


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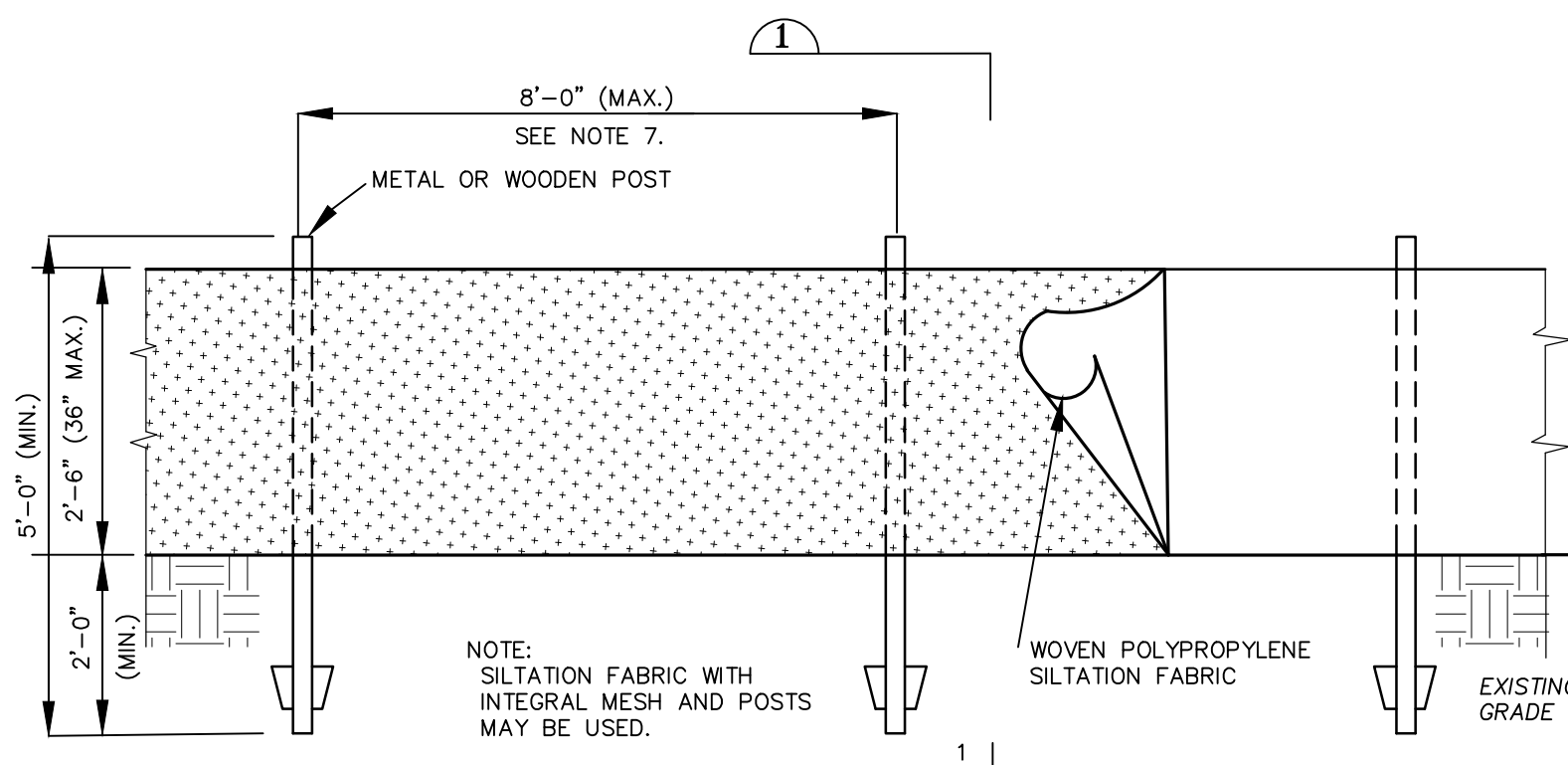


SECTION

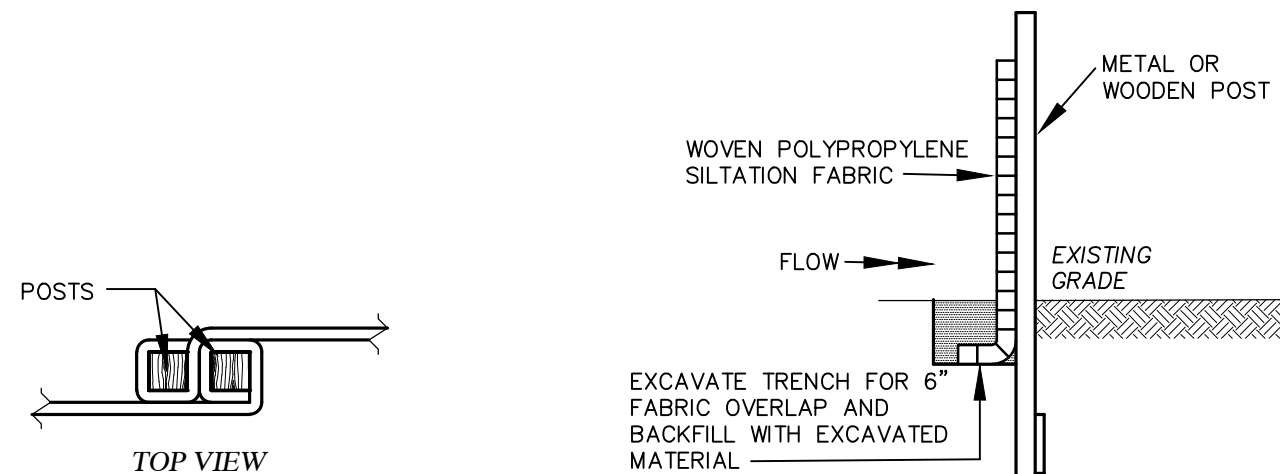


PLAN

- NOTES:
1. ALL MATERIALS TO MEET FILTREXX SPECIFICATIONS
 2. SILT/COMPOST/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS
 3. SILT/COMPOST/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS
 4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.



ELEVATION



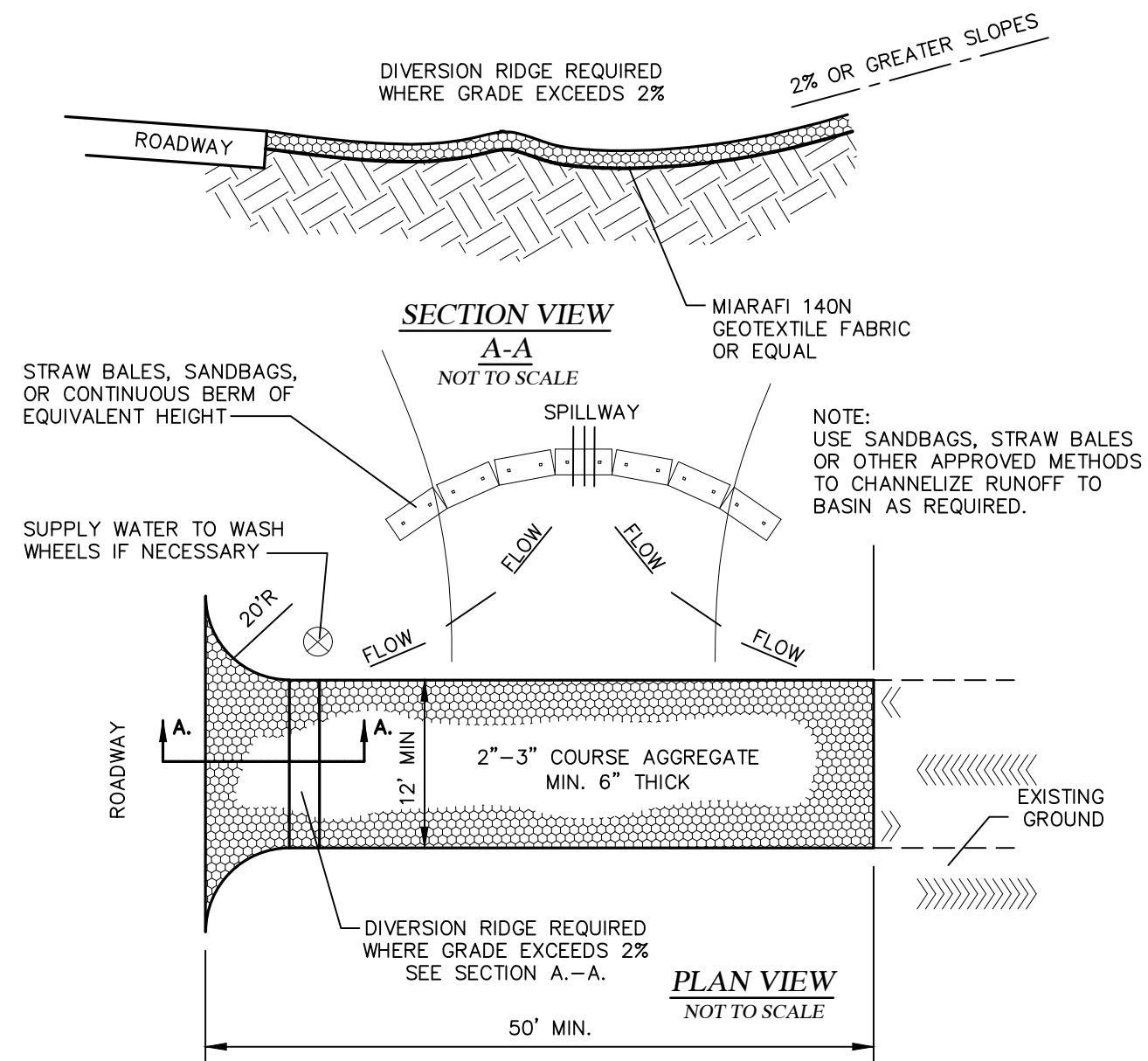
TOP VIEW

- INSTALLATION:
1. EXCAVATE A 6" X 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACK FILL THE TRENCH AND TAMP THE SOIL.
 5. JOIN SECTION AS SHOWN IN TOP VIEW.
 6. BARRIER SHALL BE MIRAFI SILT FENCE (100X) OR APPROVED EQUIVALENT.
 7. A STONE "FILLET" MAY BE USED FOR ANCHORING FABRIC IF IT CANNOT BE KEYED IN.

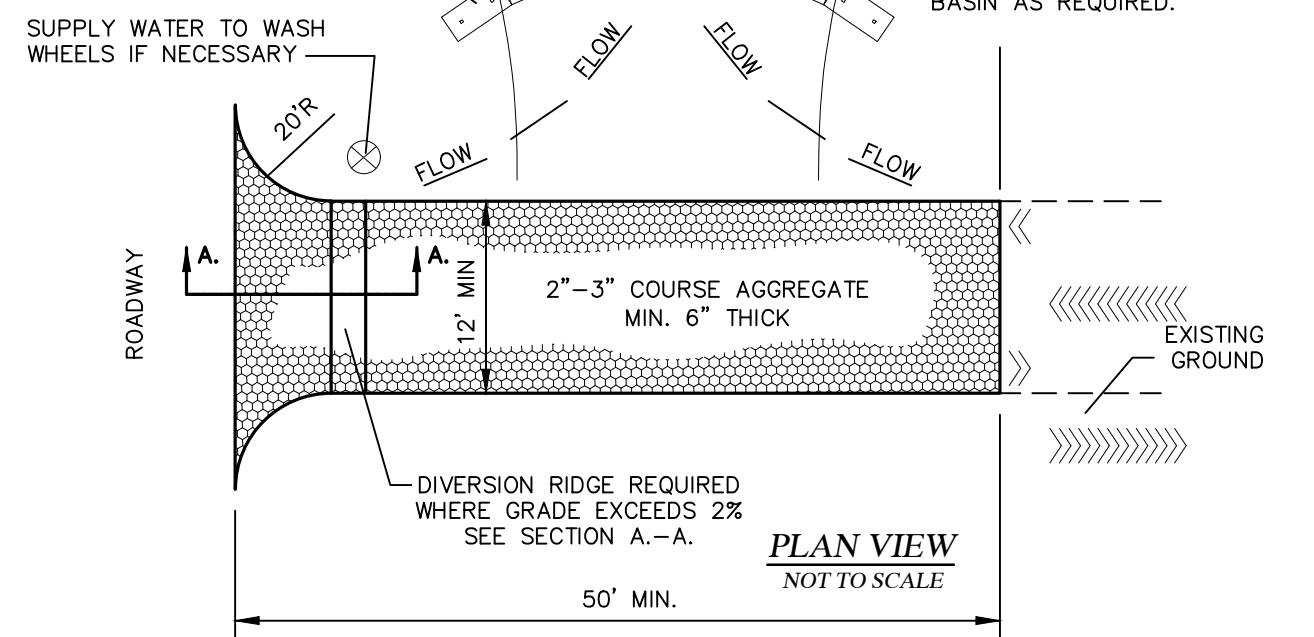
SECTION

A FILTREXX SILT/COMPOST "SEDIMENT BARRIER OPTION"
N.T.S.

B SILT FENCE DETAIL "SEDIMENT BARRIER OPTION"
N.T.S.

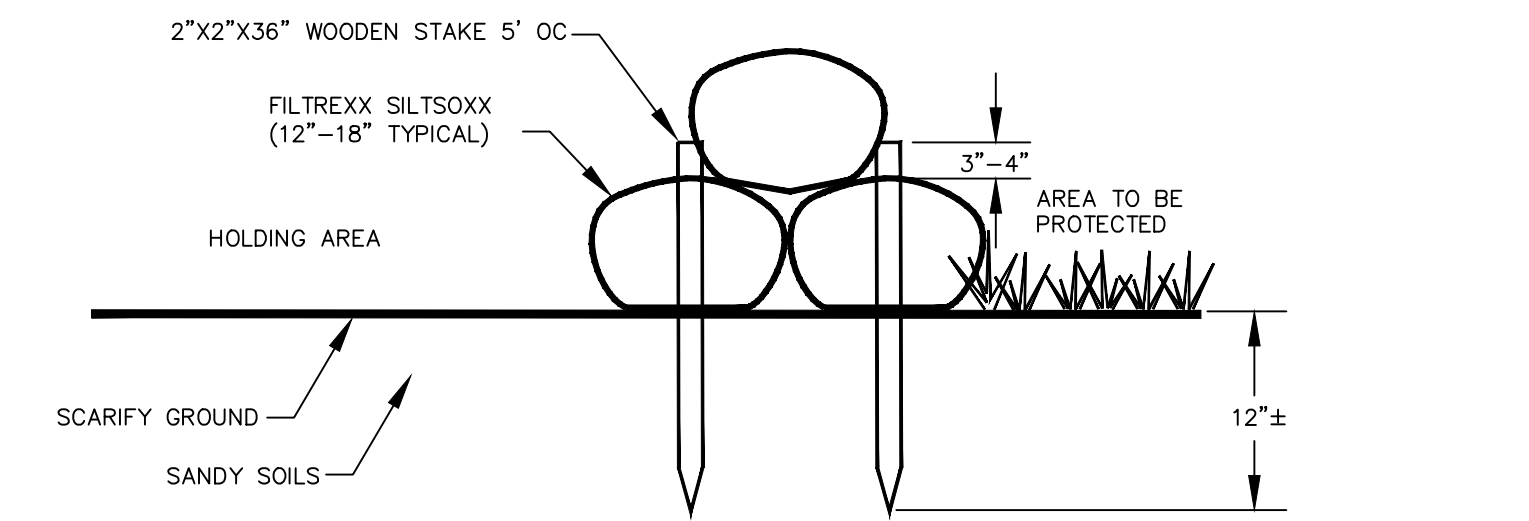


SECTION VIEW
A-A
NOT TO SCALE

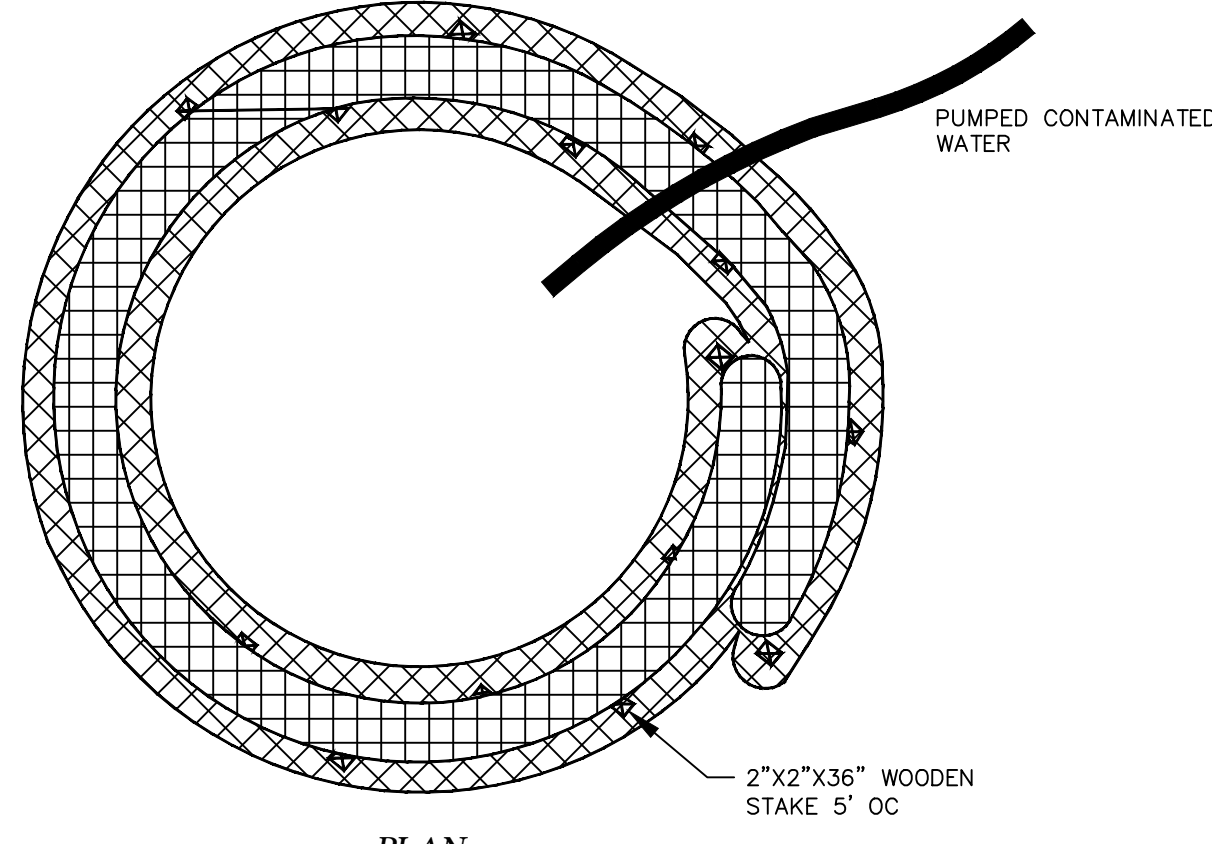


PLAN VIEW
NOT TO SCALE

- NOTE:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR, AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR BASIN.
 4. TRACKED MUD OR SEDIMENT SHALL BE REMOVED PRIOR TO THE NEXT STORM EVENT. "REMOVED" SHALL MEAN VACUUM SWEEPING. MECHANICAL BROOM/SWEEPING SEDIMENT INTO DITCHES OR STRUCTURES IS NOT ACCEPTABLE.



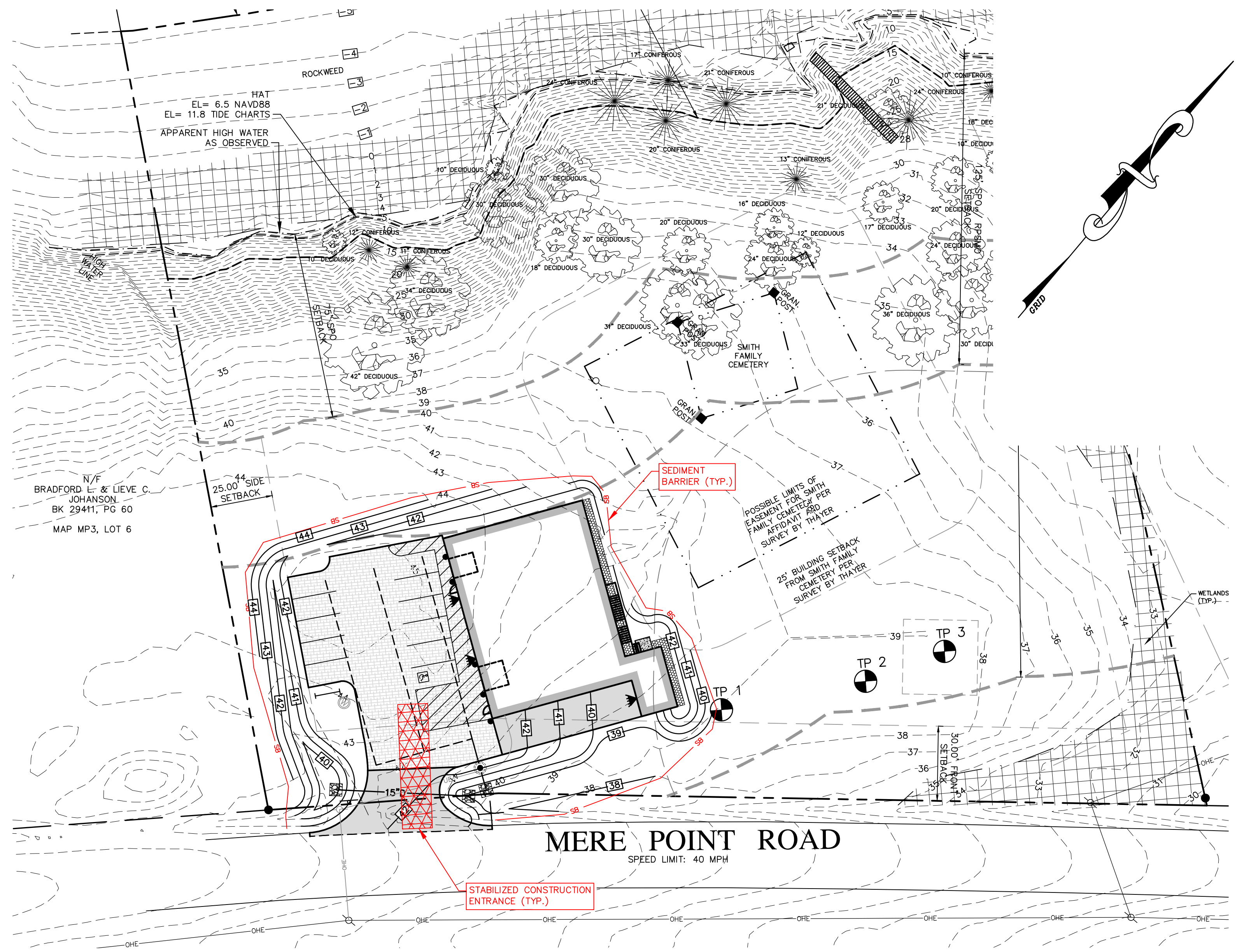
SECTION



PLAN

D SEDIMENT TRAP DETAIL
N.T.S.

C STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



- EROSION & SEDIMENT CONTROL (ESC) NOTES:**
1. THE CONTRACTOR SHALL UTILIZE THE CONSTRUCTION ENTRANCE FOR ENTERING AND EXITING THE PROPERTY
 2. ESC BMPs SHALL BE INSTALLED PRIOR TO START OF WORK.
 3. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT DISTURBED AREAS AND REVIEW BMPs PRIOR TO FORECAST PRECIPITATION OF MORE THAN 0.5 INCHES.
 4. CONTRACTOR TO SWEEP EXISTING PAVED ACCESS AS NEEDED TO REMOVE TRACKED SOILS.
 5. CONTRACTOR SHALL KEEP THE WRITTEN STORMWATER MANAGEMENT INSPECTION AND MAINTENANCE PLAN ON SITE.
 6. ALL RUNOFF FROM DISTURBED AREAS SHALL BE DIRECTED TO A FILTERING DEVICE DESIGNATED TO LIMIT DISCHARGE TURBIDITY. THE FILTERING DEVICE MAY BE BUT IS NOT LIMITED TO SAND FILTERS, EROSION CONTROL MIX, STRAW WA TILES, FLOCCULATION CHEMICALS, DIRT GLUE AND SILT FENCE.
 7. STOCKPILES TO BE TEMPORARILY SEEDED AND MULCHED OR COVERED WITH POLY SHEETING AS REQUIRED BY THE PROJECT SPECIFICATIONS.
 8. THE CONTRACTOR SHALL TREAT DISTURBED AREAS, BUILDING AREAS, AND CONSTRUCTION HAUL PATHS WITH DUST CONTROL BMPs TO LIMIT ALL FUGITIVE DUST PER THE PROJECT SPECIFICATIONS.
 9. THE EROSION AND SEDIMENT CONTROL MEASURES DEPICTED ON THIS PLAN ARE CONSIDERED TO BE THE MINIMUM REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MANAGE, INSPECT AND PROTECT THE SITE USING MEDEP BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL AS REQUIRED BY THE PROJECT SPECIFICATIONS AND THE EROSION AND SEDIMENT CONTROL REPORT. THIS MAY REQUIRE ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES NOT DEPICTED ON THIS PLAN WHICH ARE CONSIDERED INCIDENTAL TO THE CONTRACT AND WILL BE IMPLEMENTED AT NO ADDITIONAL COST TO THE OWNER.
 10. SEE ADDITIONAL NOTES ON SHEET C7, EROSION CONTROL NOTES.

- LEGEND**
- SB — SEDIMENT BARRIER
 - XXXXXX STABILIZED CONSTRUCTION ENTRANCE

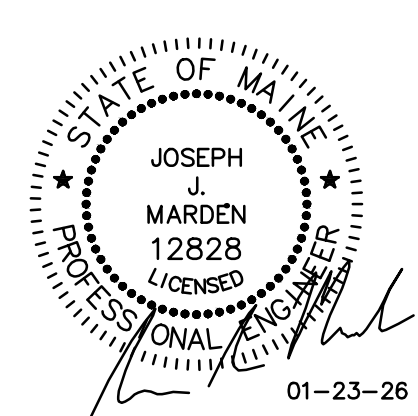
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|----|----------|--|-----|
| 3. | 01-23-26 | SUBMITTED TO TOWN FOR FINAL PLAN REVIEW | JJM |
| 2. | 10-22-25 | REVISED PER STAFF REVIEW COMMENTS | JJM |
| 1. | 09-25-25 | SUBMITTED TO TOWN FOR SKETCH PLAN REVIEW | JJM |

EROSION CONTROL PLAN

PROJECT: **WET STORAGE PROCESSING BUILDING**
MERE POINT ROAD, BRUNSWICK, MAINE 04011

PREPARED FOR: **1000 MERE POINT LLC**
37 W MARGINAL WAY, BRUNSWICK, MAINE 04011



ISSUED FOR:
PERMITTING REVIEW

SITELINES
119 PURINTON ROAD, SUITE A
BRUNSWICK, MAINE 04011
207.725.1200
CIVIL ENGINEERS • PLANNERS • LAND SURVEYORS

FIELD WK: CH, MC, & CR	SCALE: 1"=30'	C5
DRN BY: JJM	JOB #: 5128	
CH'D BY: JJM	MAP/LOT: MP3/I	
DATE: 06-10-2025	FILE: 5128-SITE	

A	UTILITY TRENCH N.T.S.
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B	TYPICAL BOLLARD
	N.T.S.

C	PAVEMENT SECTIONS
	N.T.S.

D	BARRIER FREE PARKING SIGN DETAIL N.T.S.
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E	POROUS ASPHALT PAVEMENT
	N.T.S.

RESERVOIR LAYER	
SIEVE #	% PASSING BY WEIGHT
2½"	100
2"	95-100
1"	0-30
¾"	0-5

DRAINAGE LAYER (MDOT 703.22 TYPE B)	
SIEVE SIZE	% PASSING BY WEIGHT
1"	95-100
1/2"	75-100
#4	50-100
#20	15-80
#50	0-15
#200	0-5

CONSTRUCTION OVERSIGHT:

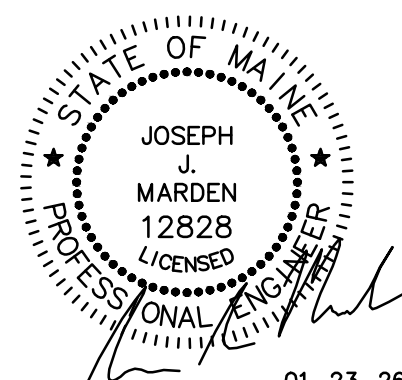
1. THE APPLICANT WILL RETAIN THE SERVICES OF A PROFESSIONAL ENGINEER TO INSPECT THE CONSTRUCTION AND STABILIZATION OF ALL STORMWATER MANAGEMENT STRUCTURES TO BE BUILT AS PART OF THE PROJECT. IF NECESSARY, THE INSPECTING ENGINEER WILL INTERPRET THE REQUIREMENTS OF THE SPECIFICATIONS FOR THE CONTRACTOR.
2. CONSTRUCTION SEQUENCE: THE POROUS ASPHALT PAVEMENT MUST NOT BE INSTALLED UNTIL THE AREA THAT DRAINS TO THE FILTER HAS BEEN PERMANENTLY STABILIZED 90% VEGETATION COVER, OR OTHER PERMANENT STABILIZATION UNLESS THE RUNOFF FROM THE CONSTRUCTION DRAINAGE AREA IS DIVERTED AROUND THE FILTER UNTIL STABILIZATION IS COMPLETED.
3. CONSTRUCTION OVERSIGHT: INSPECTION BY A PROFESSIONAL ENGINEER WILL OCCUR AT A MINIMUM:
 - 3.1. AFTER THE PREPARATION OF SUBGRADE,
 - 3.2. AFTER IMPERMEABLE LINER IS INSTALLED,
 - 3.3. AFTER THE UNDERDRAIN PIPING IS INSTALLED PRIOR TO BACKFILL,
 - 3.4. AFTER THE DRAINAGE LAIR IS PLACED,
 - 3.5. AFTER THE PLACEMENT OF THE SOLID MEDIA,
 - 3.6. AFTER THE PLACEMENT OF THE RESERVOIR LAYER,
 - 3.7. AFTER THE PLACEMENT OF THE CHOKER COVER.
4. ALL THE MATERIAL USED FOR THE CONSTRUCTION OF THE POROUS ASPHALT PAVEMENT MUST BE CONFIRMED AS MEETING THE DESIGN ENGINEER. TESTING MUST BE DONE BY A CERTIFIED LABORATORY TO SHOW THAT THEY ARE PASSING MDEP AND/OR MDOT SPECIFICATIONS.
5. TESTING AND SUBMITTALS: THE CONTRACTOR SHALL IDENTIFY THE LOCATION OF THE SOURCE OF EACH COMPONENT OF THE POROUS ASPHALT PAVEMENT. ALL RESULTS OF FIELD AND LABORATORY TESTING SHALL BE SUBMITTED TO THE PROJECT ENGINEER FOR CONFIRMATION.

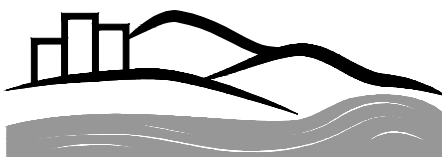
F	RIPRAP INLET/OUTLET PROTECTION
	N.T.S.

G	ROOF DRIPEDGE
	N.T.S.

H	<u>OUTLET CONTROL STRUCTURE (OCS#1) DETAIL</u> N.T.S.
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I	NOT USED N.T.S.
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2.	10--22--25 REVISED PER STAFF REVIEW COMMENTS	JJM								
1.	09--25--25 SUBMITTED TO TOWN FOR SKETCH PLAN REVIEW	JJM								

 SITELINES 119 PURINTON ROAD, SUITE A BRUNSWICK, MAINE 04011 207.725.1200 CIVIL ENGINEERS ■ PLANNERS ■ LAND SURVEYORS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 5px;">FIELD WK: CH, MC, & CR</td> <td style="width: 50%; padding: 5px;">SCALE: NTS</td> <td rowspan="4" style="width: 10%; text-align: center; vertical-align: middle; font-size: 2em; font-weight: bold;">C6</td> </tr> <tr> <td style="padding: 5px;">DRN BY: JJM</td> <td style="padding: 5px;">JOB #: 5128</td> </tr> <tr> <td style="padding: 5px;">CHD BY: JJM</td> <td style="padding: 5px;">MAP/LOT: MP3/I</td> </tr> <tr> <td style="padding: 5px;">DATE: 06-10-2025</td> <td style="padding: 5px;">FILE: 5128-COV-DET</td> </tr> </table>	FIELD WK: CH, MC, & CR	SCALE: NTS	C6	DRN BY: JJM	JOB #: 5128	CHD BY: JJM	MAP/LOT: MP3/I	DATE: 06-10-2025	FILE: 5128-COV-DET
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1. CONTRACTOR SHALL REFER TO THE FOLLOWING REFERENCES FOR THE DESIGN AND INSTALLATION OF TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL PRACTICES:

- 2016 REVISION TO THE 2003 MAINE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MANUAL FOR DESIGNERS AND ENGINEERS
- 2014 REVISION TO THE 2003 MAINE EROSION AND SEDIMENT CONTROL FIELD GUIDE FOR CONTRACTORS

EROSION/SEDIMENT CONTROL DEVICES:

1. SEDIMENT BARRIER: SILT SOXX OR APPROVED EQUAL WILL BE INSTALLED ALONG THE DOWN GRADING EDGES OF DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE SITE IS STABILIZED. IN AREAS WHERE STORMWATER DISCHARGES THE SEDIMENT BARRIER WILL BE REINFORCED WITH HAY BALES TO HELP MAINTAIN THE INTEGRITY OF THE SEDIMENT BARRIER AND TO PROVIDE ADDITIONAL TREATMENT.

2. HAY BALES: HAY BALES TO BE PLACED IN LOW FLOW DRAINAGE SWALES AND PATHS TO TRAP SEDIMENTS AND REDUCE RUNOFF VELOCITIES. DO NOT PLACE HAY BALES IN FLOWING WATER OR STREAMS.
3. RIPRAP: PROVIDE RIPRAP IN AREAS WHERE CULVERTS DISCHARGE OR AS SHOWN ON THE PLANS.
4. LOAM, SEED, & MULCH: ALL DISTURBED AREAS, WHICH ARE NOT OTHERWISE TREATED, SHALL RECEIVE PERMANENT SEEDING AND MULCH TO STABILIZE THE DISTURBED AREAS. THE DISTURBED AREAS WILL BE REVEGETATED WITHIN 5 DAYS OF FINAL GRADING. SEEDING REQUIREMENTS ARE PROVIDED AT THE END OF THIS SPECIFICATION.
5. STRAW AND HAY MULCH: USED TO COVER DENUDED AREAS UNTIL PERMANENT SEED OR EROSION CONTROL MEASURES ARE IN PLACE. MULCH BY ITSELF CAN BE USED ON SLOPES LESS THAN 15% IN SUMMER AND 8% IN WINTER. JUTE MESH IS TO BE USED ON SLOPE ONLY.
6. IN LIEU OF MULCH, USE EROSION CONTROL BLANKET (EQUAL TO NORTH AMERICAN GREEN SC150) TO STABILIZE AREAS OF CONCENTRATED FLOW AND DRAINAGE WAYS.

PROVIDE THE FOLLOWING TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION OF THE DEVELOPMENT:

1. SEDIMENT BARRIER ALONG THE DOWNGRADIANT SIDE OF THE PARKING AREAS AND OF ALL FILL SECTIONS. THE SEDIMENT BARRIER SHALL BE INSTALLED PRIOR TO THE START OF THE CONSTRUCTION AND WILL REMAIN IN PLACE UNTIL THE SITE IS 100% REVEGETATED.
2. HAY BALES PLACED AT KEY LOCATIONS TO SUPPLEMENT THE SEDIMENT BARRIER.
3. PROTECT TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION AS FOLLOWS:
 - A. SOIL STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
 - B. AVOID PLACING TEMPORARY STOCKPILES IN AREAS WITH SLOPES OVER 10 PERCENT, OR NEAR DRAINAGE SWALES.
 - C. STABILIZE STOCKPILES WITHIN 7 DAYS BY TEMPORARILY SEEDING WITH A HYDROSEED METHOD CONTAINING AN EMULSIFIED MULCH TACKIFIER OR BY COVERING THE STOCKPILE WITH MULCH.
 - D. SURROUND STOCKPILE SOIL WITH SEDIMENT BARRIER AT BASE OF PILE.
4. ALL DENUDED AREAS WHICH HAVE BEEN ROUGH GRADED AND ARE NOT LOCATED WITHIN THE BUILDING PAD, OR PARKING AN DRIVEWAY SUBBASE AREA SHALL RECEIVE MULCH WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL OR WITHIN 7 DAYS AFTER COMPLETING THE ROUGH GRADING OPERATIONS. IN THE EVENT THE CONTRACTOR COMPLETES FINAL GRADING AND INSTALLATION OF LOAM AND SOD WITHIN THE TIME PERIODS PRESENTED ABOVE, INSTALLATION OF MULCH AND NETTING, WHERE APPLICABLE, IS NOT REQUIRED.
5. IF WORK IS CONDUCTED BETWEEN OCTOBER 15 AND APRIL 15, ALL DENUDED AREAS ARE TO BE COVERED WITH HAY MULCH, APPLIED AT TWICE THE NORMAL APPLICATION RATE, AND ANCHORED WITH FABRIC NETTING. THE PERIOD BETWEEN FINAL GRADING AND MULCHING SHALL BE REDUCED TO A 15 DAY MAXIMUM.
6. PERMANENT EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE HAS BEEN STABILIZED OR IN AREAS WHERE PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
7. WHENEVER PRACTICABLE, NO DISTURBANCE ACTIVITIES SHOULD TAKE PLACE WITHIN 50 FEET OF ANY WETLAND. IF DISTURBANCE ACTIVITIES TAKE PLACE BETWEEN 30 FEET AND 50 FEET OF ANY WETLAND, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE WETLAND, PERIMETER EROSION CONTROLS MUST BE DOUBLED. IF DISTURBANCE ACTIVITIES TAKE PLACE LESS THAN 30 FEET FROM A PROTECTED NATURAL RESOURCE, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE PROTECTED NATURAL RESOURCE, PERIMETER EROSION CONTROLS MUST BE DOUBLED AND DISTURBED AREAS MUST BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 7 DAYS.
8. AREAS WITHIN 75 FT OF A WETLAND WILL BE STABILIZED WITHIN 48 HOURS OF INITIAL DISTURBANCE OF THE SOIL OR PRIOR TO ANY STORM EVENT, WHENEVER COMES FIRST.
9. ALL AREAS WITHIN 75 FEET OF A WETLAND MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS DURING WINTER CONSTRUCTION (NOVEMBER 1 THROUGH APRIL 15).
10. TEMPORARY SEDIMENT BASINS MAY BE INSTALLED DOWNGRADIANT OF THE DISTURBED AREAS. THESE BASINS MUST BE DESIGNED TO PROVIDE STORAGE FOR EITHER THE CALCULATED RUNOFF FROM A 2-YEAR, 24-HOUR STORM OR PROVIDE FOR 3,600 CUBIC FEET OF CAPACITY PER ACRE DRAINING TO THE BASIN. OUTLET STRUCTURES MUST DISCHARGE WATER FROM THE BASIN TO THE BASIN WHENEVER POSSIBLE. EROSION CONTROLS AND VELOCITY DISSIPATION DEVICES MUST BE USED IF THE DISCHARGING WATERS ARE LIKELY TO CREATE EROSION. ACCUMULATED SEDIMENT MUST BE REMOVED AS NEEDED FROM THE BASIN TO MAINTAIN AT LEAST 1/2 OF THE DESIGN CAPACITY OF THE BASIN.

THE FOLLOWING PERMANENT CONTROL MEASURES ARE REQUIRED BY THIS EROSION/SEDIMENTATION CONTROL PLAN:

1. ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.), WILL BE LOAMED, LIMED, FERTILIZED AND SEED. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY.
2. SLOPES GREATER THAN 2:1 WILL RECEIVE RIPRAP. (NONE ANTICIPATED)

THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING.

1. A MINIMUM OF 6" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.
2. IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW. PRIOR TO SEEDING, LIMESTONE SHALL BE APPLIED AT A RATE OF 138 LBS/1000 SQ. FT. AND 10:20:20 FERTILIZER AT A RATE OF 18.4 LBS/1000 SQ. FT. WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:

SWALES SHALL BE: WIDFLOWER MEADOW: (SEED) FESTUCA OVINA SHEEP FESCUE; SOW AT A RATE OF 12 OZ. PER 1,000 SQFT. TRIFOLIUM REPENS WHITE CLOVER; SOW AT A RATE OF $\frac{1}{2}$ OZ. PER 1,000 SQFT. (FLOWERS) ACHILLEA MILLEFOLIUM YARROW, AQUELEGA CANADENSIS COMMONWORT, ASCLEPIAS TUBEROSA BUTTERFLY MILKWEED, ASTER ANTHEMUS-ANGELICA (ENGLANDER'S LILY), BAPTISMA STRANSKYA WILD INDIGO, ASTER DIVERSIFOLIUS, ASTER SP. ANTHEMUS, ANTHEMUS HYALINUS, DIGITALIS PURPUREA FOXGLOVE, ECHINACEA PURPUREA PURPLE CONEFLOWER, LUPINUS ALBUS WHITE LUPINE, MONARDA FISTULOSA BERGAMOT, PAPAVER ORIENTALE ORIENTAL POPY, RUDEBECKIA HIRTA BLACK-EYED SUSAN, SALVIA OFFICINALIS SAGE; SOW AT A RATE OF 1/3 OZ. EACH PER 1,000 SQFT. OR 0.4 OZ. PER 1,000 SQFT. IN COMBINATION

3. AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IT HAS BEEN SEEDDED. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, JUTE NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE DESIGNER.
4. A. HAY OR JUTE SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER: (NOTE: SOIL SHALL NOT BE VISIBLE)
- I. BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
- II. BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5%.
- III. SEE NOTE 6, GENERAL NOTES, AND NOTE 8, WINTER CONSTRUCTION.
5. B. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDBED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.
4. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.
- A. ONLY UNFROZEN LOAM SHALL BE USED.
- B. LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
- C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1000 SQ.FT) SHALL BE ADDED TO THE PREVIOUSLY NOTED AREAS.
- D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.6 LBS/1000 SQ. FT.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
- E. FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.
- F. ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO. MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

1. HAY BALE BARRIERS, SEDIMENT BARRIER, AND STONE CHECK DAMS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT ACCUMULATES TO A DEPTH OF 18" OR MORE. IF THE BARRIERS ARE FOUND TO BE INADEQUATE, THE BARRIERS SHALL BE REPAIRED OR REPLACED. IF THE HAY BALE BARRIERS PROVE TO BE INEFFECTIVE, THE CONTRACTOR SHALL INSTALL SEDIMENT BARRIER BEHIND THE HAY BALES.
2. VISUALLY INSPECT RIPRAP ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND SEEDING DEVICES ONCE IT EXCEEDS A DEPTH EQUIV. TO THE HEIGHT OF THE DAM OR RISER. DISTRIBUTE REMOVED SEDIMENT OFF-SITE OR TO AN AREA UNDERGOING FINAL GRADING.
3. REVEGETATION: DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDDED WITH THE "MEADOW AREA" MIXTURE AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEED AS NEEDED. EXPOSED AREA WILL BE RESEEDDED AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIPRAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.

FROM THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, CHAPTER 500, APPENDIX C.

1. SPILL PREVENTION. CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM CONSTRUCTION AND WASTE MATERIALS STORED ON SITE TO ENTER STORMWATER, WHICH INCLUDES STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORMWATER. THE SITE CONTRACTOR MUST DEVELOP, AND IMPLEMENT AS NECESSARY, APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING MEASURES.

NOTE: ANY SPILL OR RELEASE OF TOXIC OR HAZARDOUS SUBSTANCES MUST BE REPORTED TO THE DEPARTMENT. FOR OIL SPILLS, CALL 1-800-482-0777 WHICH IS AVAILABLE 24 HOURS A DAY. FOR SPILLS OF TOXIC OR HAZARDOUS MATERIAL, CALL 1-800-452-4664 WHICH IS AVAILABLE 24 HOURS A DAY. FOR MORE INFORMATION, VISIT THE DEPARTMENTS WEBSITE AT : [HTTP://WWW.MAINE.GOV/DEP/SPILLS/EMERGSPILLRESP/](http://www.maine.gov/dep/spills/emergspillresp/)

2. GROUNDWATER PROTECTION. DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR AS A RESULT OF SOILS, TOPOGRAPHY AND OTHER RELEVANT FACTORS ACCUMULATES RUNOFF THAT INFILTRATES INTO THE SOIL. DIKES, BERMS, SUMPS, OR OTHER STRUCTURES THAT ARE USED TO PREVENT OR CONTROL DISCHARGE OF MATERIALS TO OR FROM THE INFILTRATION AREAS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS, ANY PROJECT PROPOSING INFILTRATION OF STORMWATER MUST PROVIDE ADEQUATE PRE-TREATMENT OF STORMWATER PRIOR TO DISCHARGE OF STORMWATER TO THE INFILTRATION AREA, OR PROVIDE FOR TREATMENT WITHIN THE INFILTRATION AREA, IN ORDER TO PREVENT THE ACCUMULATION OF FINES, REDUCTION IN INFILTRATION RATE, AND CONSEQUENT FLOODING AND DESTABILIZATION.

NOTE: LACK OF APPROPRIATE POLLUTANT REMOVAL BEST MANAGEMENT PRACTICES (BMPs) MAY RESULT IN VIOLATIONS OF THE GROUNDWATER QUALITY STANDARD ESTABLISHED BY 38 M.R.S.A. §465-C(1).

3. FUGITIVE SEDIMENT AND DUST EMISSIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOLIDS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL, BUT OTHER WATER ADDITIVES MAY BE CONSIDERED AS NEEDED. A STABILIZED CONSTRUCTION ENTRANCE (SCE) SHALL BE INSTALLED AT THE ENTRANCE TO THE CONSTRUCTION SITE. ALL TRUCKS AND EQUIPMENT SHALL BE WASHED DOWN PRIOR TO LEAVING THE SITE. PUBLIC ROADS SHOULD BE SWEEPED IMMEDIATELY AND NO LESS THAN ONCE A WEEK AND PRIOR TO SIGNIFICANT STORM EVENTS. OPERATIONS DURING DRY MONTHS, THAT EXPERIENCE FUGITIVE DUST PROBLEMS, SHOULD WET DOWN UNPAVED ACCESS ROADS ONCE A WEEK OR MORE FREQUENTLY AS NEEDED WITH A WATER ADDITIVE TO SUPPRESS FUGITIVE SEDIMENT AND DUST.

4. DEBRIS AND OTHER MATERIALS. MINIMIZE THE EXPOSURE OF CONSTRUCTION DEBRIS, BUILDING AND LANDSCAPING MATERIALS, TRASH, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS TO PRECIPITATION AND STORMWATER RUNOFF. THESE MATERIALS MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.

5. EXCAVATION DE-WATERING. EXCAVATION DE-WATERING IS THE REMOVAL OF WATER FROM TRENCHES, FOUNDATIONS, COFFER DAMS, PONDS, AND OTHER AREAS WITHIN THE CONSTRUCTION AREA THAT RETAIN WATER AFTER EXCAVATION. IN MOST CASES THE COLLECTED WATER IS HEAVILY SLEUD AND HINDERS CORRECT AND SAFE CONSTRUCTION PRACTICES. THE COLLECTED WATER SHOULD BE REMOVED TO AREAS OUTSIDE THE CONSTRUCTION AREA THAT ARE SPECIFICALLY DESIGNED TO HOLD NATURAL WATER. BUFFERS OR REMOVED TO AREAS THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFERDAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE. EQUIVALENT MEASURES MAY BE TAKEN IF APPROVED BY THE DEPARTMENT.

EXCAVATION DEWATERING IS ANTICIPATED FOR THIS PROJECT. SHOULD IT BE NECESSARY, THE COLLECTED WATER REMOVED FROM THE PONDED AREA, EITHER THROUGH GRAVITY OR PUMPING, MUST BE REMOVED TO AREAS THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A SEDIMENT TRAP (SEE DETAIL THIS SHEET), DIRT BAG, OR SEDIMENTATION BASIN. A DEWATERING DISCHARGE PLAN SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.

6. AUTHORIZED NON-STORMWATER DISCHARGES. IDENTIFY AND PREVENT CONTAMINATION BY NON-STORMWATER DISCHARGES. WHERE ALLOWED NON-STORMWATER DISCHARGES EXIST, THEY MUST BE IDENTIFIED AND STEPS SHOULD BE TAKEN TO ENSURE THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES FOR THE NON-STORMWATER COMPONENT(S) OF THE DISCHARGE. AUTHORIZED NON-STORMWATER DISCHARGES ARE:

- (a) DISCHARGES FROM FIREFIGHTING ACTIVITY;
- (b) FIRE HYDRANT FLUSHINGS;
- (c) VEHICLE WASHWATER IF DETERGENTS ARE NOT USED AND WASHING IS LIMITED TO THE EXTERIOR OF VEHICLES (ENGINE, UNDERCARRIAGE AND TRANSMISSION WASHING IS PROHIBITED);
- (d) DUST CONTROL RUNOFF IN ACCORDANCE WITH PERMIT CONDITIONS AND CHAPTER 500 APPENDIX (C)(3);
- (e) PAINT REMOVAL AND PAINT REMOVAL WASHWATER, THAT DOES NOT INVOLVE DETERGENTS;
- (f) PAVEMENT WASHWATER (WHERE SPILLS/LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED, UNLESS ALL SPILLED MATERIAL HAD BEEN REMOVED) IF DETERGENTS ARE NOT USED;
- (g) UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE;
- (h) UNCONTAMINATED GROUNDWATER OR SPRING WATER;
- (i) FOUNDATION OR FOOTER DRAIN-WATER WHERE FLOWS ARE NOT CONTAMINATED;
- (j) UNCONTAMINATED EXCAVATION DEWATERING (SEE REQUIREMENTS IN APPENDIX C(5));
- (k) POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS; AND
- (l) LANDSCAPE IRRIGATION.

7. UNAUTHORIZED NON-STORMWATER DISCHARGES. THE DEPARTMENT'S APPROVAL UNDER CHAPTER 500 DOES NOT AUTHORIZE A DISCHARGE THAT IS MIXED WITH A SOURCE OF NON STORMWATER, OTHER THAN THOSE DISCHARGES IN COMPLIANCE WITH APPENDIX C (6). SPECIFICALLY, THE DEPARTMENT'S APPROVAL DOES NOT AUTHORIZE DISCHARGES OF THE FOLLOWING:

- (a) WASTEWATER FROM THE WASHOUT OR CLEANOUT OF CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS OR OTHER CONSTRUCTION MATERIALS;
- (b) FUELS, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE;
- (c) SOAPS, SOLVENTS, OR DETERGENTS USED IN VEHICLE AND EQUIPMENT WASHING; AND
- (d) TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE.

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.

2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. AT THE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.
4. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE UNDER THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 100 S.F. (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ANCHORED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH. NOTE: AN AREA IS ALSO CONSIDERED STABLE IF UNSEEDDED, COVERED WITH GRAVEL (PARKING LOTS) OR STRUCTURAL SAND.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED WITH GRASS SEED. MULCHING SHALL BE SPECIFIED FOR PERMANENT SEED AND THEN MAY BE CHANGED, IF CONSTRUCTION CONTINUES THROUGH THE WINTER. IF THE EXPOSED AREA HAS BEEN LOADED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED WITH GRASS SEED. DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS THE EXPOSED AREAS ARE DITCHED OR OTHERWISE STABILIZED, THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLLED BY THE INSTALLATION OF BALES OF HAY, SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS BELOW 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.
7. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS, SLOPES GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%. VEGETATED DRAINAGE SWALES SHALL BE LINED WITH STRAW-COCONUT EROSION CONTROL BLANKET (NORTH AMERICAN GREEN SC100 OR APPROVED EQUIV.).

1. GENERAL RESPONSIBILITIES

- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE STORMWATER BMPs AND FACILITIES UNTIL THE CONSTRUCTION PHASE OF THE PROJECT IS COMPLETE AND THE SITE IS PERMANENTLY STABILIZED AND ACCEPTED BY THE APPLICANT. THESE EFFORTS SHALL INCLUDE MAINTENANCE OF TEMPORARY AND PERMANENT STORMWATER FEATURES AND ADDRESSING INTERIM SITE CONDITIONS AS NECESSARY. AFTER ACCEPTANCE OF THE DEVELOPMENT, THE APPLICANT WILL BE RESPONSIBLE FOR MAINTAINING THE PERMANENT STORMWATER FEATURES AS SHOWN ON THE PLAN.

2. MAINTENANCE FREQUENCY.
- INSPECTIONS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES, AND TEMPORARY AND PERMANENT STORMWATER FEATURES DURING THE CONSTRUCTION PROCESS SHALL BE PERFORMED AT LEAST ONCE PER WEEK AND BEFORE AND AFTER EACH SIGNIFICANT RAINFALL EVENT. FOR THE PURPOSES OF THE INSPECTION SCHEDULE, A SIGNIFICANT RAINFALL EVENT SHALL BE ANY STORM EVENT THAT RESULTS IN MORE THAN 0.5-INCHES OF RAINFALL IN A 24-HOUR PERIOD.

DURING WINTER CONSTRUCTION, IN THE MONTHS FROM NOVEMBER TO MARCH, INSPECTIONS SHALL BE PERFORMED AFTER EACH RAINFALL, SNOWSTORM, OR THAWING, AND AT LEAST ONCE PER WEEK.

3. INSPECTION SCOPE
THE SCOPE OF CONSTRUCTION INSPECTIONS SHALL INCLUDE DISTURBED AND IMPERVIOUS AREAS, MATERIAL STORAGE AREAS, AND VEHICLE ACCESS POINTS IN ADDITION TO THE EROSION AND SEDIMENTATION CONTROL MEASURES, AND TEMPORARY AND PERMANENT STORMWATER FEATURES.

4. INSPECTION AND MAINTENANCE CHECKLIST
AN INSPECTION AND MAINTENANCE CHECKLIST SPECIFIC TO THIS PROJECT IS AVAILABLE FROM THE DESIGN ENGINEER. ALL INSPECTION FORMS AND DOCUMENTATION OF CORRECTIVE ACTIONS DURING CONSTRUCTION SHALL BE MAINTAINED FOR A MINIMUM OF THREE (3) YEARS AFTER PERMANENT STABILIZATION HAS BEEN ACHIEVED.

5. CORRECTIVE ACTION TIMELINE
AS PART OF THE INSPECTION AND MAINTENANCE PROCESS, IF ANY CORRECTIVE ACTION IS WARRANTED, IT SHALL BE STARTED
BY THE END OF THE NEXT WORKDAY AND COMPLETED WITHIN SEVEN (7) DAYS OR BEFORE THE NEXT STORM EVENT,
WHICHEVER COMES FIRST.

ALL REQUIRED CORRECTIVE ACTIONS SHALL BE DOCUMENTED AND MAINTAINED WITH THE INSPECTION FORMS.

- THE PERSON(S) RESPONSIBLE FOR INSPECTION DURING CONSTRUCTION AND POST-CONSTRUCTION SHALL BE CONDUCTED BY SOMEONE WITH KNOWLEDGE OR EROSION AND STORMWATER CONTROL, INCLUDING THE STANDARDS AND CONDITIONS OF THE APPROVALS.

3.	01-23-26	SUBMITTED TO TOWN FOR FINAL PLAN REVIEW	JJM
2.	10-22-25	REVISED PER STAFF REVIEW COMMENTS	JJM
1.	09-25-25	SUBMITTED TO TOWN FOR SKETCH PLAN REVIEW	JJM

PROJECT: *WET STORAGE PROCESSING BUILDING*
MERE POINT ROAD, BRUNSWICK, MAINE 04011

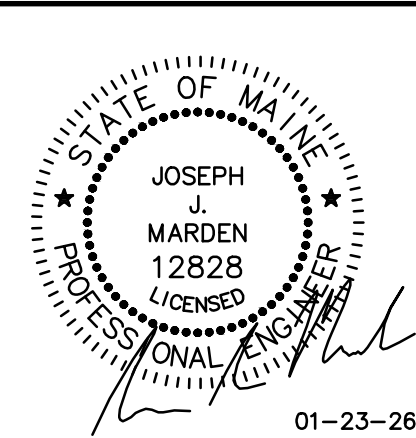
PREPARED FOR: 1000 MERE POINT LLC
37 W MARGINAL WAY, BRUNSWICK, MAINE 04011



FIELD WK: CH, MC, & CR	SCALE: N/A	SHEET: C7
DRN BY: JJM	JOB #: 5128	
CH'D BY: JJM	MAP/LOT: MP3/1	
DATE: 06-10-2025	FILE: 5128-COV-DET	

C7

PROGRESS PRINT
THIS PLAN IS ISSUED FOR
REVIEW AND INFORMATION
PURPOSES ONLY. THIS
PLAN IS SUBJECT TO
CHANGE AND IS NOT FOR
PRICING OR CONSTRUCTION.
PRICING BASED ON THIS
PLAN IS NOT BINDING
UNLESS SIGNED BY BOTH
CONTRACTOR AND OWNER.

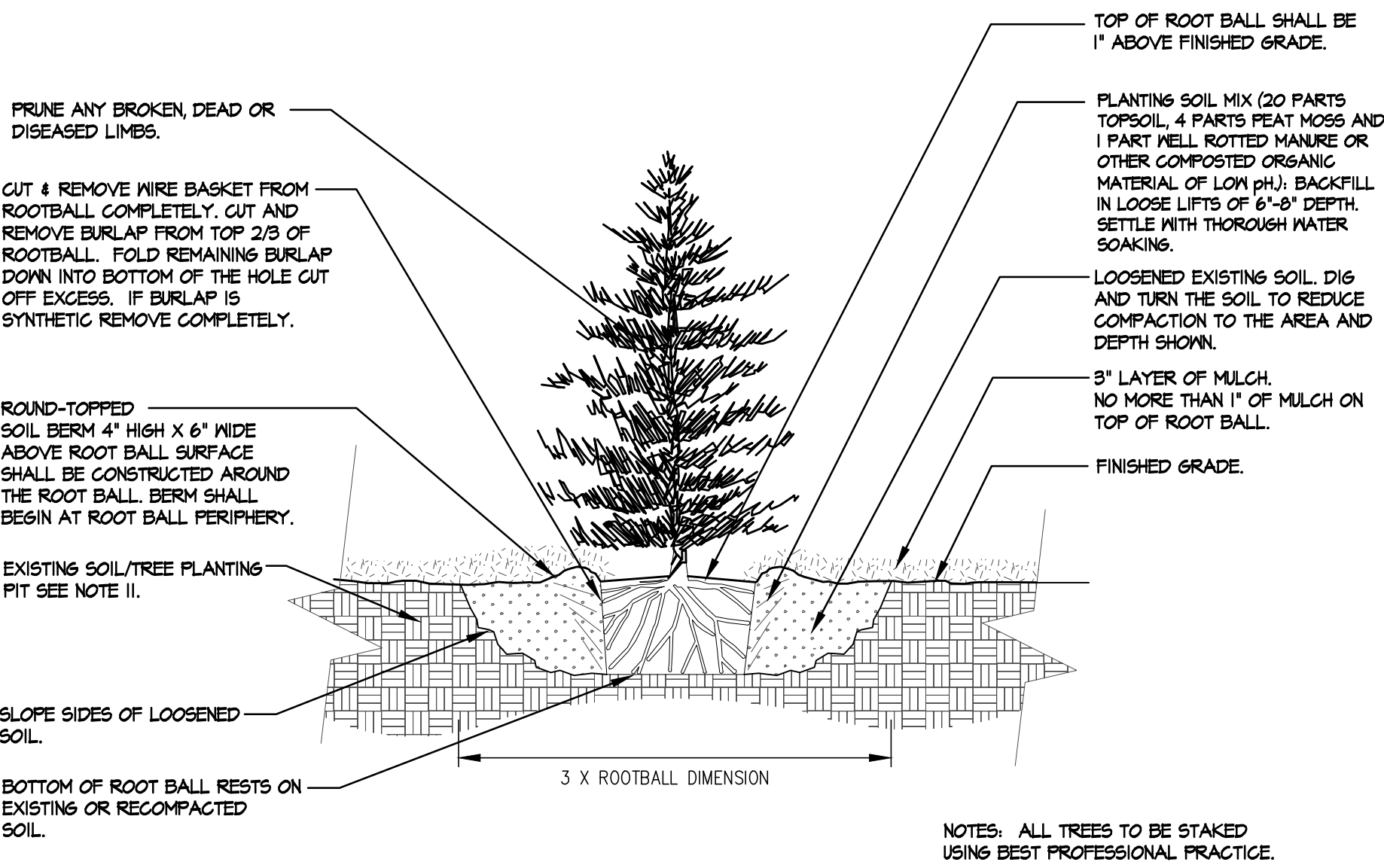


ISSUED FOR:
PERMITTING REVIEW

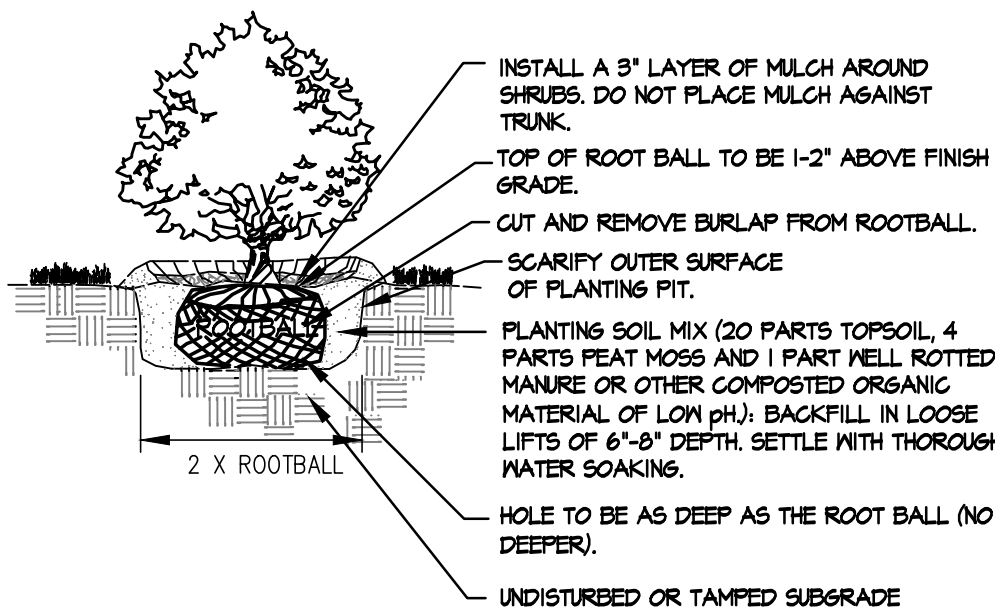


SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	MATURE SIZE +/-	COMMENTS
SHRUBS & HERBACEOUS MATERIAL						
AB	ABIES BALSA'MEA	BALSAM FIR	5	6' HT.	H60'XW30'	FULL & BUSHY
AXF	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	3	1 1/2' CAL.	H40'XW25'	SINGLE STEM, B&B
CA	CLETHRA ALNIFOLIA 'COMPACTA'	COMPACT CLETHRA	21	5 GAL.	H4'XW4'	FULL & BUSHY
IV	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	11	5 GAL.	H4'XW6'	FULL & BUSHY
JV	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	4	5 GAL.	H3'XW3'	FULL & BUSHY
KL	KALMIA LATIFOLIA 'ELF'	ELF MOUNTAIN LAUREL	5	5 GAL.	H4'XW4'	FULL & BUSHY

1. PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DGS&E AND BE PROVIDED WITH A DGS&E NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
2. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S "AMERICAN STANDARD OF NURSERY STOCK".
3. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE SITE. PLANTS WHICH ARE REJECTED SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
4. MULCH FOR PLANTED AREAS TO BE AGED SPRUCE AND FIR BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
5. ALL PLANT MATERIAL OR REPRESENTATIVE SAMPLES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON THE PLANTS UNTIL FINAL ACCEPTANCE.
6. CONTRACTOR SHALL LOAMED DISTURBED AREAS WITH A 6" DEPTH OF TOPSOIL.
7. SEED MIXTURES FOR AREAS TO BE SEEDED SHALL BE SEEDED WITH "PARK MIX" AS DISTRIBUTED BY ALLEN STERLING & LOTHROP OF FALMOUTH MAINE. SEEDING RATE TO BE 5 LBS. PER 1,000 S.F.
8. CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
9. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.
10. SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND OR CAPPED OR DEMOLISHED AS REQUIRED.
11. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
12. THE CONTRACTOR SHALL INSTALL WATERING BAGS SUCH AS THE TREEGATOR ON ALL TREES AT THE TIME OF INSTALLATION. TREE BAGS TO BE LEFT ON UNTIL FREEZING TEMPERATURES.



SCALE: N.T.S.



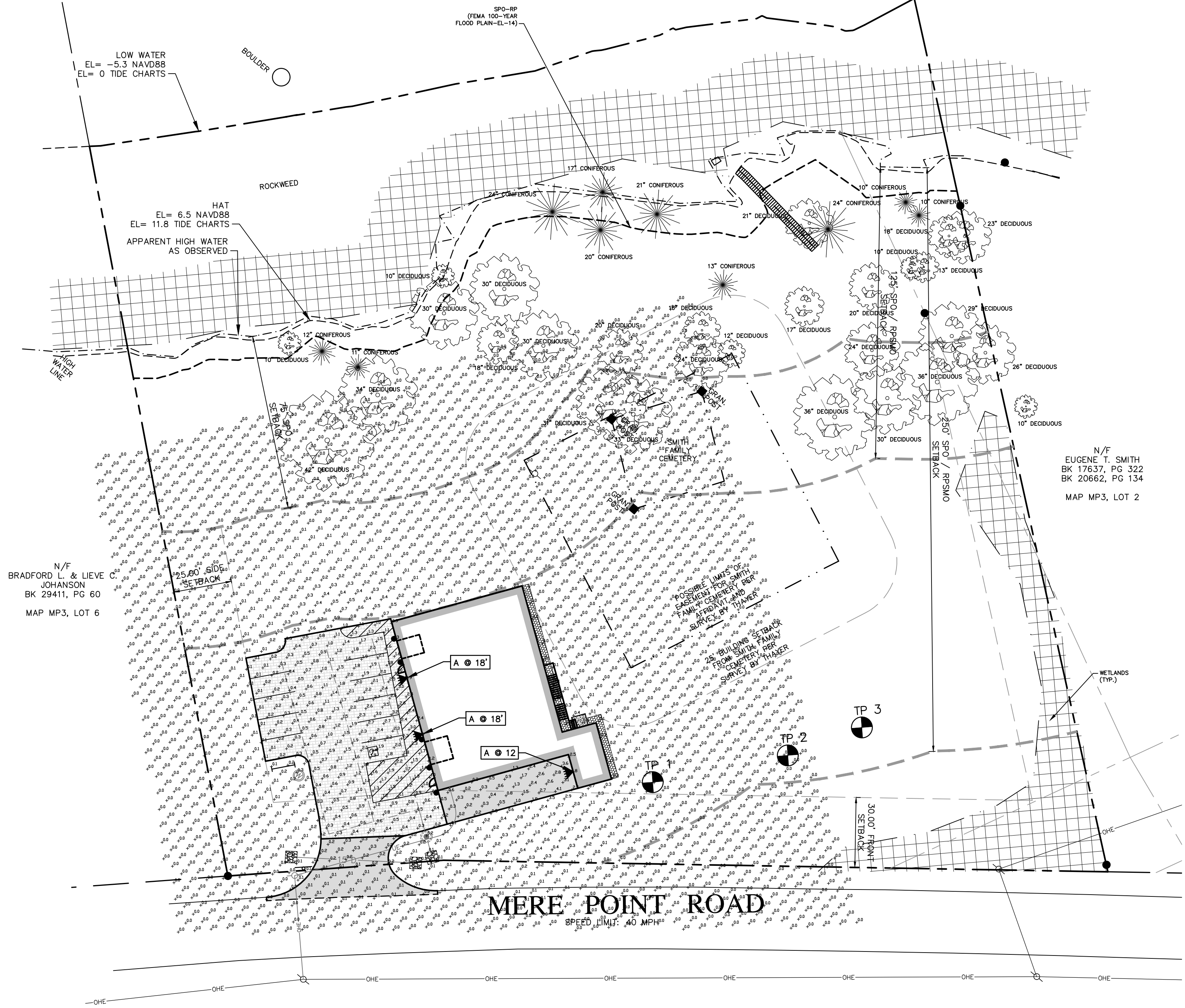
SCALE: N.T.S.

[illegible]

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QUINCY, MAINE 04011
CIVIL ENGINEERS • PLANNERS • LAND SURVEYORS
119 PURINTON ROAD, SUITE A
BRUNSWICK, MAINE 04011
207.725.1200

MAQUOIT BAY



Schedule									
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	A	3	LMC-30LU-3K-4	LAREDO LMC, 30 LED, 3000K, TYPE 4, 700mA	30- NICHIA 3K LEDS	1	4534.53	0.9	70

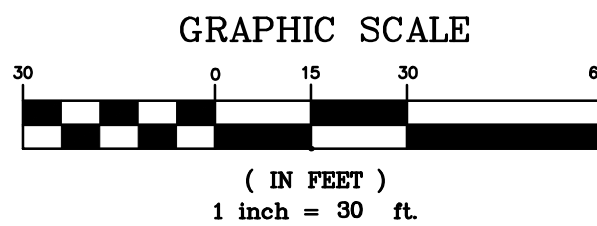
- NOTES:
1. EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 2. CALCULATIONS DO NOT SHOW THE EFFECT OF SHADOWING CAUSED BY BUILDINGS AND OBJECTS WITHIN THE CALCULATED SPACE OR IN THE SITE AREA.
 3. READINGS SHOWN ARE INITIAL HORIZONTAL FOOTCANDLES ON A FLAT SITE WITHOUT REFLECTIONS OR OBSTRUCTIONS UNLESS OTHERWISE INDICATED.
 4. THIS LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
 5. DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY APPEAR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.



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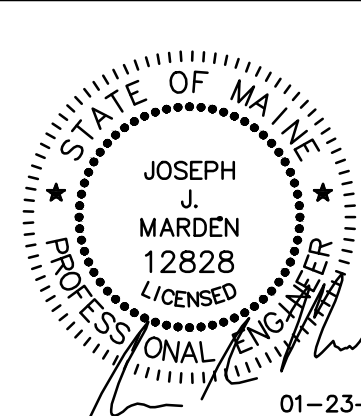
Know what's below
Call before you dig.

STATE LAW REQUIRES ADVANCE NOTICE
OF AT LEAST 3 BUSINESS DAYS BEFORE
YOU DIG, GRADE OR EXCAVATE FOR THE
MARKING OF UNDERGROUND UTILITIES



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LIGHTING PLAN

PROJECT:
WET STORAGE PROCESSING BUILDING
MERE POINT ROAD, BRUNSWICK, MAINE 04011

PREPARED FOR:
1000 MERE POINT LLC
37 W MARGINAL WAY, BRUNSWICK, MAINE 04011

SITELINES
119 PURINTON ROAD, SUITE A
BRUNSWICK, MAINE 04011
207.725.1200
CIVIL ENGINEERS • PLANNERS • LAND SURVEYORS

FIELD WK: CH, MC, & CR	SCALE: 1"=30'	SHEET: L2
DRN BY: JJM	JOB #: 5128	
CH'D BY: JJM	MAP/LOT: MP3/I	
DATE: 06-10-2025	FILE: 5128-SITE	