

1. VRB Agenda 1.23.2025

Documents:

[VILLAGE_REVIEW_BOARD_AGENDA_01232025.PDF](#)

2. VRB 24-027 53 Pleasant Street

Documents:

[VRB 24027 PACKET.PDF](#)

3. VRB 24-028 9C Oak Street

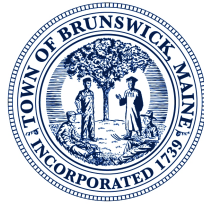
Documents:

[VRB 24028 PACKET.PDF](#)

4. VRB 25-001 27 Pleasant St

Documents:

[VRB 25001 PACKET.PDF](#)



Town of Brunswick, Maine

Planning & Development Department

85 UNION STREET, BRUNSWICK, ME 04011

VILLAGE REVIEW BOARD AGENDA

Thursday, January 23, 2025 @ 6:30 P.M.

Brunswick Town Hall Room 206

There is an opportunity to attend this meeting in person or view the meeting via Zoom

How to watch and comment via Zoom

Please follow the link below to join the webinar:

<https://us02web.zoom.us/j/83093510999?pwd=MSdPTso5n6yR41u2aK9vpHCJiBYW46.1>

Passcode: aPs973

The public may provide comment via email (jerdman@brunswickme.gov) prior to the meeting OR they may provide live comment at the meeting via Zoom or in person. Comments are allowed during the public comment period, during public hearings, and on other items and matters at the discretion of the Council Chair.

1. Approval of Minutes

2. **Case No. VRB 24-027 53 Pleasant Street:** At the request of the applicant and owner, Xoa Moshier LLC, the Village Review Board will review and act on a request for a Certificate of Appropriateness to construct an addition to the Pleasant Street Dental building to house additional operatories. The property is located at 53 Pleasant Street (Map U16, Lot 51) within the Growth Residential 6 (GR6) Zoning District and the Village Review Overlay (VRO).

3. **Case No. VRB 24-028 9C Oak Street:** At the request of the applicant, Edwin Dijkshoorn, representing owner Dayspring Property LLC, the Village Review Board will review and act on a request for a Certificate of Appropriateness to add egress balconies to third-floor apartment bedrooms. The property is located at 9C Oak Street (Map U14, Lot 66) within the Growth Residential 6 (GR6) Zoning District and the Village Review Overlay (VRO).

4. **Case No. VRB 25-001 27 Pleasant Street:** At the request of the applicant, Restoration Resources, on behalf of the owner, St. Paul's Episcopal Church, the Village Review Board will review and act on a request for a Certificate of Appropriateness to replace architectural skirting with an engineered material. The property is located at 27 Pleasant Street (Map U13, Lot 105) within the Growth Mixed-Use 6 (GM6) Zoning District and the Village Review Overlay (VRO).

5. Staff Approvals:

82 Pleasant Street – Signage

11 Pleasant Street – Signage

13 Market Lane – Egress window and heat pump

6. Other Business

7. Adjourn

Town of Brunswick, Maine

DEPARTMENT OF PLANNING AND DEVELOPMENT

DRAFT FINDINGS OF FACT REQUEST FOR CERTIFICATE OF APPROPRIATENESS FOR ADDITIONS AND ALTERATIONS VILLAGE REVIEW BOARD

PROJECT NAME: 53 Pleasant Street/Pleasant Street Dental Addition

CASE NUMBER: VRB 24-027

LOCATION: Map U16, Lot 51; 53 Pleasant Street

REPRESENTATIVE: Tracie Reed
Dextrous Creative
77 Newbury Street #1
Portland, ME 04101

**OWNER/
APPLICANT:** Xoa Moshier
53 Pleasant Street
Brunswick, ME 04011

REVIEW DATE: January 23, 2025

PROJECT SUMMARY

The building at 53 Pleasant Street is a 1.5 story non-contributing structure that, according to the tax card and building records, was constructed in approximately 1990. The applicant is requesting a Certificate of Appropriateness for Alterations to construct a small addition to the rear of the building for stairs and a chair lift to a newly expanded second story. The building will go from 1.5 to 2 full stories, adding 946 sq ft of floor area to the second floor. The expansion will make room to house four new operatories for the business.

REVIEW STANDARDS, SECTION 5.2.8.C, TOWN OF BRUNSWICK ZONING ORDINANCE

(1) General Standard

- a. **All Certificates of Appropriateness for new construction, additions, alterations, relocations or demolition shall be in accordance with applicable requirements of this Ordinance.**

The proposed modifications to the property require a Conditional Use Permit for Office expansion and Minor Development Review for the site plan which will be reviewed by the Planning Board on January 28, 2025. Building/electrical/plumbing permits through the Code Enforcement Office will also be necessary.

- b. **In meeting the standards of this Ordinance, the applicant may obtain additional guidance from the *U.S. Secretary of Interior's Standards for Rehabilitating Historic Buildings* and the *Village Review Zone Design Guidelines*.**

The Village Review Design Guidelines state that additions and new construction shall be visually compatible with the mass, scale and materials of nearby contributing resources and remain visually compatible with the existing streetscape. The additions do not affect the setback of the structure from the street. The second-story addition to the rear will give the building added height which will make it more compatible in scale with the nearby two-story residential structures. The materials used: clapboard siding, 6 over 6 simulated divided light windows, composite shutters, and asphalt shingle roof are all similar in appearance to the materials used on neighboring Pleasant Street properties.

(2) New Construction and Additions and Alterations to Existing Structures

- a. In approving applications for a Certificate of Appropriateness for new construction, additions or alterations to contributing resources, the reviewing entity shall make findings that the following standards have been satisfied:**

- i. Any additions or alterations shall be designed in a manner to minimize the overall effect on the historic integrity of the contributing resource.**

The structure is listed as non-contributing and therefore this standard is not applicable.

- ii. Alterations shall remain visually compatible with the existing streetscape.**

The structure is listed as non-contributing and therefore this standard is not applicable.

- iii. Concealing of distinctive historic or architectural character-defining features is prohibited. If needed, the applicant may replace any significant features with in-kind replacement and/or accurate reproductions.**

The structure is listed as non-contributing and therefore this standard is not applicable.

- iv. New construction or additions shall be visually compatible with existing mass, scale and materials of the surrounding contributing resources.**

The structure is listed as non-contributing and therefore this standard is not applicable.

- v. When constructing additions, the applicant shall maintain the structural integrity of existing structures.**

The structure is listed as non-contributing and therefore this standard is not applicable.

- b. In approving applications for a Certificate of Appropriateness for new construction of, or additions to commercial, multi-family and other non-residential structures, the Village Review Board shall make findings that the following additional standards have been satisfied.**

- i. **Where practicable, new off-street parking shall be located to the rear of the principal building and shall be accessed from a secondary street. In cases where off-street parking currently exists in a front or side yard, the parking area shall be screened from the public right-of-way with landscaping or fencing.**

The project includes reconfiguring of the parking lot that will leave a strip of green space along the frontage for landscaping to aid in buffering the existing lot.

- ii. **Site plans shall identify pedestrian ways and connections from parking areas to public rights-of-way.**

The site plan identifies the existing sidewalk and crosswalk in front of the property.

- iii. **All dumpsters and mechanical equipment shall be located no less than 25 feet away from a public right-of-way, unless required by a public utility, and shall be screened from public view.**

A dumpster will be placed at the rear of the property behind the addition, both within an enclosure and not visible from Pleasant Street.

- iv. **Roof-top mounted heating, ventilation, air conditioning and energy producing equipment shall be screened from the view of any public right-of-way or incorporated into the structural design to the extent that either method does not impede functionality. Parapets, projecting cornices, awnings or decorative roof hangs are encouraged. Flat roofs without cornices are prohibited.**

Not applicable.

- v. **The use of cinder block, concrete and concrete block is prohibited on any portion of a structure that is visible from the building's exterior, with the exception of use in the building's foundation.**

Not applicable.

- vi. **The use of vinyl, aluminum or other non-wood siding is permitted as illustrated in the Village Review Board Design Guidelines. Asphalt and asbestos siding are prohibited.**

The project will utilize Hardie (fiber cement) plank lap siding to match the existing siding. This material is listed as an acceptable substitute for wood clapboard in the design guidelines.

- vii. **Buildings with advertising icon images built into their design ("trademark buildings") are prohibited.**

Not applicable.

- viii. **No building on Maine Street shall have a horizontal expanse of more than 40**

feet without a pedestrian entry.

Not applicable.

- ix. No building on Maine Street shall have more than 15 feet horizontally of windowless wall.**

Not applicable.

- x. All new buildings and additions on Maine Street shall be built to the front property line. This may be waived if at least 60 percent of the building's front facade is on the property line, and the area in front of the setback is developed as a pedestrian space.**

Not applicable.

- xi. If adding more than 50 percent new floor area to a structure located on Maine Street, the addition shall be at least two (2) stories high and/or not less than 20 feet tall at the front property line.**

Not applicable.

- xii. The first-floor facade of any portion of a building that is visible from Maine Street shall include a minimum of 50 percent glass. Upper floors shall have a higher percentage of solid wall, between 15 percent and 40 percent glass.**

Not applicable.

- c. Proposed additions or alterations to noncontributing resources shall be designed to enhance or improve the structure's compatibility with nearby contributing resources as compared to the existing noncontributing resources.**

The immediately abutting property and the property across the street are also non-contributing structures. The second-story addition to the rear will give the building added height which will make it more compatible in scale with the nearby contributing two-story residential structures. The materials used: clapboard siding, 6 over 6 simulated divided light windows, shutters, asphalt shingle roof, are all similar in appearance to the materials used on neighboring contributing Pleasant Street properties.

(3) Signs

Signs shall comply with the requirements of Section 4.13 (Signs) with consideration given to the Village Review Zone Design Guidelines.

No new signage is proposed as part of this project.

(4) Demolition and Relocation

- a. Demolition or partial demolition or relocation of a contributing or, if visible from a public right-of-way, a noncontributing resource, excluding incidental or noncontributing accessory buildings and structures located on the same property,**

shall be prohibited unless the application satisfies at least one of the following criteria.

- i. **The structure poses an imminent threat to public health or safety. An application must be accompanied by a report from a qualified structural engineer for review by the Codes Enforcement Officer and photographs depicting the current condition of the building.**

There is no demolition proposed and therefore this standard is not applicable.

- ii. **The condition of the structure is such that it cannot be adapted for any other permitted use, whether by the current owner or by a purchaser, resulting in a reasonable economic return, regardless of whether that return represents the most profitable return possible, provided that the applicant can document he/she has not contributed significantly to the deterioration of the structure. An opinion shall be provided from an architect, licensed engineer, developer, real estate consultant or appraiser or from a professional experienced in historic rehabilitation, as to the economic feasibility for restoration, renovation, or rehabilitation of the contributing resource versus demolition or relocation of same.**

Not applicable.

- b. **Demo, partial demolition or relocation of a noncontributing resource visible from a public right-of-way, shall be approved by the Village Review Board if it is determined that the proposed replacement structure or reuse of the property is deemed more appropriate and compatible with the surrounding contributing resources than the resource proposed for demolition.**

Not applicable.

DRAFT MOTIONS
MAP U16, LOT 51 (53 PLEASANT STREET)
REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR ALTERATIONS
VILLAGE REVIEW BOARD
REVIEW DATE: JANUARY 23, 2025

- Motion 1:** That the Certificate of Appropriateness application is deemed complete.
- Motion 2:** That the Board approves the **Certificate of Appropriateness for Alterations** to renovate and alter the Pleasant Street Dental building at Map U16, Lot 51; 53 Pleasant Street, as outlined in the application and as satisfied by Subsection 5.2.8.C with the following condition(s):
1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.

Received: 12/16/24
By: JS

VRB Case #: 24-027

**VILLAGE REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS
APPLICATION**

1. Project Applicant:

Name: Xoa Mosier LLC
Address: 53 Pleasant Street
Brunswick, ME 04011
Phone Number: (207) 725-2062
Email Address: psd@pleasantstreetdental.net

2. Project Property Owner:

Name: See above
Address: _____
Phone Number: _____
Email Address: _____

3. Authorized Representative: (If different than applicant)

Name: Tracie J. Reed, Maine Licensed Architect
Address: 77 Newbury Street #1
Portland, ME 04101
Phone Number: (207) 409-0459
Email Address: traciereed@dextrouscreative.com

4. Physical Location of Property Being Affected:

Address: 53 Pleasant Street

5. Tax Assessor's Map # U16 Lot # 051 of subject property.

6. Underlying Zoning District GR6

7. Type of Activity (check all that apply):

- ☒ Additions and New Construction
☒ Structural Alteration
☐ Demolition/Moving of Structure
☐ Sign Permit

8. Describe the location and nature of the proposed change(s), including a brief description of the proposed construction, reconstruction, alteration, demolition, proposed re-use, or other change (use separate sheet if necessary): Expansion of clinic to support additional clinical operatories. See attached project narrative and drawings.

Applicant's
Signature Tracie J. Reed

**VILLAGE REVIEW BOARD
APPLICATION FOR CERTIFICATE OF COMPLIANCE
APPLICATION CHECK-LIST**

This checklist will be completed by the Department of Planning and Development. The Department requires that all application materials be submitted in BOTH hard copy and digital format. In addition, for Major Review applications, EIGHT (8) HARD COPIES are required after your application is considered complete by Department staff. Your project will not be placed on the Village Review Board's agenda until this determination is made. For assistance, please contact the Department of Planning and Development at (207)725-6660.

- ☒ Completed application form
- N/A ☒ A copy of the building survey prepared by the Pejepscot Historical Society pertaining to the structure under review (*provided by Department Staff*).
- ☒ A drawing showing the design, texture, and location of any construction, alteration, demolition for which a certificate is required. The drawing shall include plans and exterior elevations drawn to scale, with sufficient detail to show their relations to exterior appearances and the architectural design of the building. Drawings need not be prepared by an architect or engineer, but shall be clear, complete, and specific.
- ☒ A site plan or photographs showing the relationship of the changes to the surroundings.
- ☒ If architectural features are to be removed or replaced (including but not limited to original windows, siding, roofing material and other design elements), provide photographic documentation or a written assessment from a preservation professional or contractor explaining the condition of the material and reason for removal/replacement.
- ☒ Photographs of the building(s) involved, its context, and detailed photos of immediate area.
- ☒ List all proposed materials and products, and clearly identify their location on the drawings. Indicate texture of material, if applicable.
- ☒ Provide manufacturer's product information and, if possible, bring material samples to the meeting.
- N/A ☐ Provide information such as dimensions, photographs or source for salvaged or reused materials.
- N/A ☐ For demolition applications, provide detailed information addressing standards contained in Subsections 5.2.8.C (4) of the Brunswick Zoning Ordinance.

This application was certified as being complete on 1/7/2025 (date) by [Signature] of the Department of Planning and Development.

THIS APPLICATION WAS:

- ☐ **Granted**
- ☐ **Granted With Conditions**
- ☐ **Denied**
- ☒ **Forwarded to Village Review Board**
- ☒ **Building Permit Required**
- ☐ **Building Permit NOT Required**

Applicable Comments: _____

Signature of Department Staff Reviewing Application

COMPLIANCE WITH ZONING STANDARDS

Notice: *This form is to be completed by the Codes Enforcement Officer
and filed with the application.*

This is to certify that the application for Certificate of Appropriateness submitted by

Xao Mosier LLC, relating to property designated on Assessors Tax Map # U16 and

Lot # 51 has been reviewed by the Codes Enforcement Officer and has been found to be in
compliance with all applicable zoning standards:

Comments: _____

Signed: 
Date: 1-8-25



December 16, 2024

Julie Erdman
Director of Planning and Development
Brunswick Town Hall
85 Union Street
Brunswick, ME 04011

Director Erdman,

Attached please find Conditional Use, Minor Development Review and Village Review Overlay Zone Applications for an expansion of the existing Pleasant Street Dental at 53 Pleasant Street in Brunswick (U16/051) prepared on behalf of our client, Xoa Mosier LLC. The existing six operatory practice is located within the GR6 zone in a mixed-use area and has a long waiting list for new patients. In order to best serve its community, the clinic is proposing the addition of four operatories for a total of ten via a phased expansion that will allow the practice to serve patients during construction.

The parcel is bounded by Pleasant Street to the North. There is a signaled cross walk immediately West of the curb cut which protects pedestrians from vehicular traffic exiting via a right-turn from the site onto the one-way street. The western side of the parcel abuts an unused rail line, Maine Central Railroad, controlled by the State of Maine Department of Transportation. At the center of the site there is a right-of-way easement benefitting the owner whose property wraps around 53 Pleasant.

The addition will expand the footprint of the clinic by approximately 300 SF to accommodate a wheelchair lift and stair. The operatories will be added in existing administrative areas on the first floor. These administrative areas will be moved to an expanded second floor. The current area of this expansion is asphalt. The project will result in no new impervious surface or changes to site vegetation. The addition and upper story will honor the current side and front setbacks for the GR6 zone. The additional also respects an existing right-of-way easement at the building's center.

The fenestration pattern and clapboard siding and paint colors will be matched in the addition. Mechanical condensers will be located in the rear of the parcel, screened from view by the proposed addition. The primary entrance for patients will remain unchanged. A new staff entrance at the rear of the building will provide interior lift serving the first and expanded second floor.

The additional four operatories will support hiring of a second dentist and hygiene staff to better serve patients. Traffic impacts are anticipated to include eight additional trips per hour (four patient appointments) exiting onto Pleasant Street, a one-way road. The clinic is open from 8:00 a.m. to 4:00 p.m. Monday through Thursday. Operations at the clinic will not create noise, dust, vibrations, glare of airborne contaminants impacting another structure. The completed project will have 23 parking spaces including an ADA space with loading aisle and bike storage rack.

Our project's MEP engineers have conducted an existing condition assessment of the building. The use will not require sprinklers. The engineers have deemed the building's existing gas and sewer lines sufficient to accommodate the

Dextrous Creative
Portland, ME

addition. The building's existing ¾" cold water supply has been deemed sufficient to support the negligible increase in supply required. Operatories are serviced via bottled distilled water. We are in the process of confirming with Central Maine Power that the increase in load will not overtax the adjacent pole-mounted transformer. It is anticipated that the service feed to the building is sufficient.

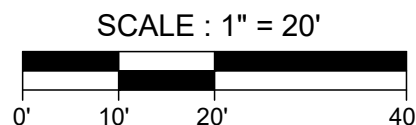
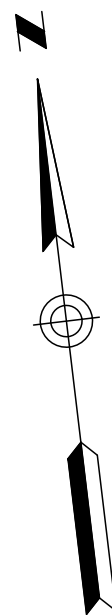
We look forward to presenting this project to the Staff Review Committee and broader community in our Planning Board meeting shortly. Please let us know if you and your colleagues have any questions.

Sincerely,

A handwritten signature in black ink that reads "Tracie J. Reed". The signature is fluid and cursive, with the first name "Tracie" and last name "Reed" clearly legible.

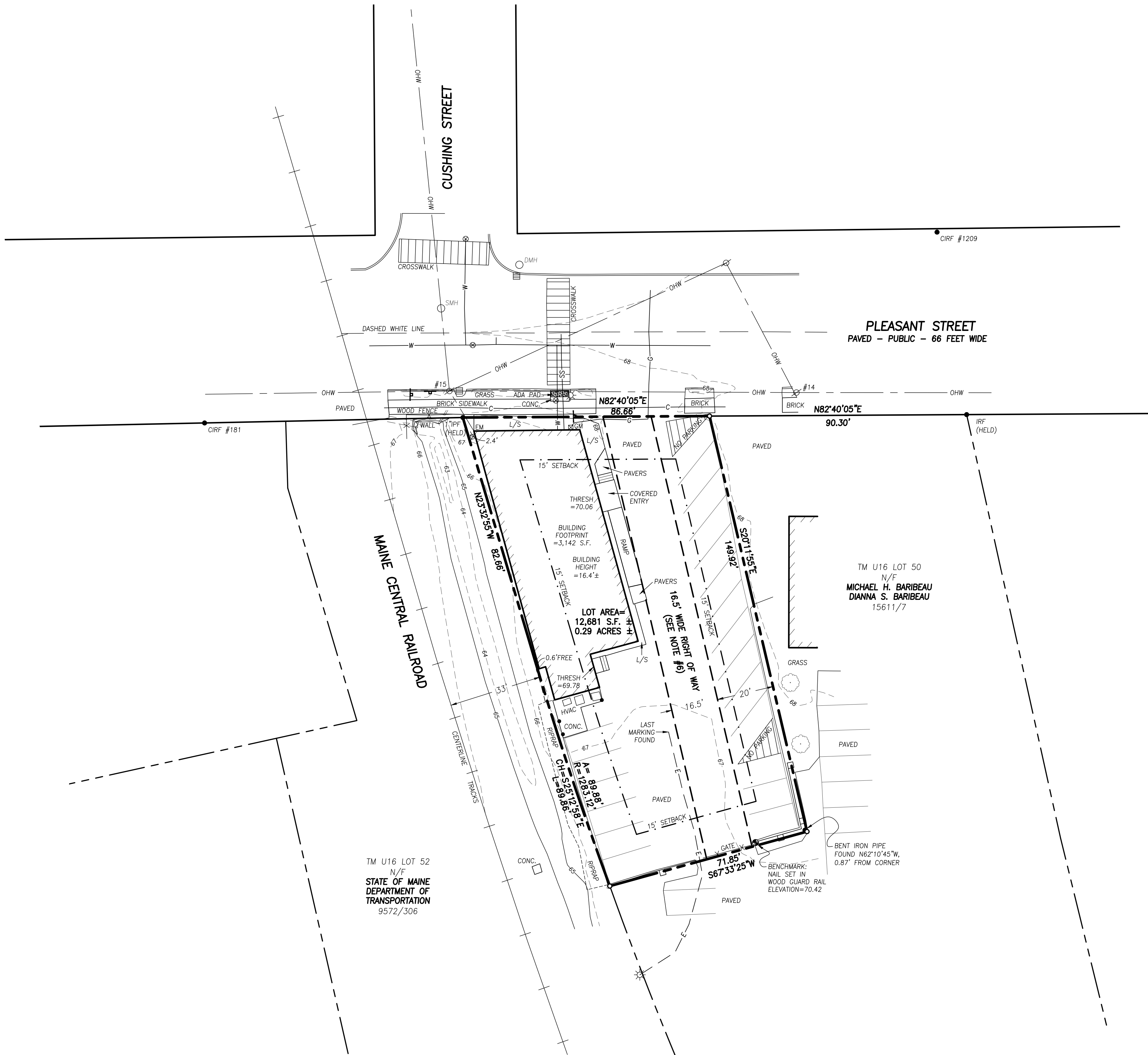
Tracie J. Reed/Dextrous Creative (she/her)

Licensed to Practice Architecture in Maine, NCARB, AIA, LEED AP



UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO OSHA CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

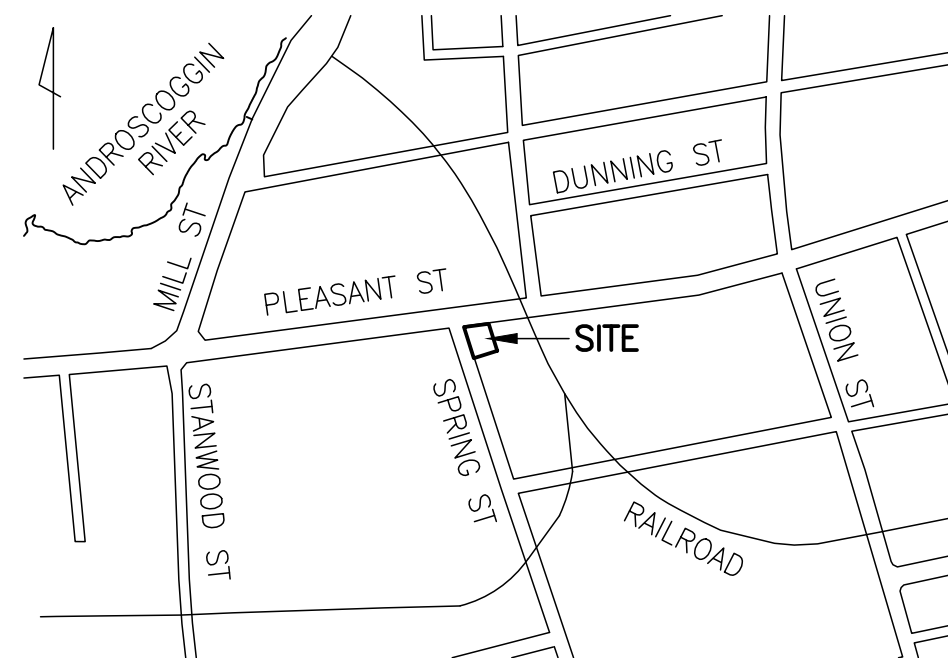
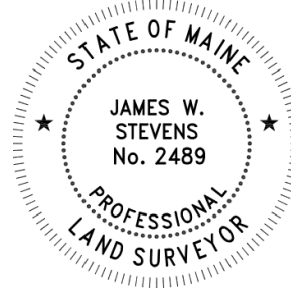


CERTIFICATE

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

J. W. Stevens
JAMES W. STEVENS, PLS #2489

DECEMBER 31, 2024
DATE



LOCATION MAP

N.T.S.

LEGEND

●	IRON PIPE OR ROD FOUND	— X —	SETBACK LINE
○	CAPPED IRON ROD SET	— X —	FENCE
○	UTILITY POLE	=====	CULVERT
○	MANHOLE	=====	CURB
⊗	ELECTRIC/GAS METER	□	GUARD RAIL
⊗	SIGN	— OHW —	OVERHEAD WIRES
⊗	CATCH BASIN	— E —	UNDERGROUND ELECTRIC
⊗	WATER VALVE OR SHUTOFF	— W —	WATER LINE
⊗	LIGHT POLE	— G —	GAS LINE
⊗	DECIDUOUS TREE	— C —	COMMUNICATIONS LINE
●	BOLLARD	— SS —	SANITARY SEWER
CONC.	CONCRETE	100	1' CONTOUR
THRESH	THRESHOLD ELEVATION	IPF/IRF	IRON PIPE/ROD FOUND
RCP	REINFORCED CONCRETE PIPE	N/F	NOW OR FORMERLY
		000/000	DEED BOOK / PAGE
		L/S	LANDSCAPED AREA

PLAN REFERENCES

- "PROPERTY PLAN OF CUMBERLAND AND SEED POTATO COMPANY, BRUNSWICK, MAINE", FEBRUARY 10, 1956, BY WRIGHT & PIERCE, RECORDED AT CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.) IN PLAN BOOK 45, PAGE 12.
- "LOT SURVEY FOR HENRY M. BARIBEAU, SR., RICHARD D. BARIBEAU & HENRY M. BARIBEAU, JR TO WILLIAM R. OUELLETTE & DAVID N. TAFT", MARCH 5, 1981, BY HOWARD F. BABIDGE, RLS, RECORDED AT C.C.R.D. IN PLAN BOOK 130, PAGE 19.
- "PROPERTY SURVEY FOR ORVILLE RANGER", OCTOBER 10, 1984, BY HOWARD F. BABIDGE AND SON, RECORDED AT C.C.R.D. WITH DEED 8647/332.
- "STATE AID HIGHWAY NO. 13, PLEASANT STREET, BRUNSWICK, CUMBERLAND COUNTY, PROPOSED SALE - MAINEDOT TO ABUTTER", JULY 2014, MAINE D.O.T. FILE NO. 3-600.

GENERAL NOTES

- OWNER OF RECORD: XOA MOSHIER LLC, A MAINE LLC
TAX MAP U16 LOT 51
C.C.R.D. BOOK 31615 PAGE 94
- BEARINGS ARE BASED ON STATE PLANE COORDINATE SYSTEM, MAINE WEST ZONE, NAD83 DERIVED FROM GPS OBSERVATIONS.
- ELEVATIONS ARE BASED ON NAVD88, DERIVED FROM GPS OBSERVATIONS.
- ACCORDING TO THE TOWN OF BRUNSWICK'S OFFICIAL ZONING MAP, EFFECTIVE SEPTEMBER 5, 2017, THE LOCUS PROPERTY IS IN A GROWTH RESIDENTIAL 6 (GR6) DISTRICT w/ THE FOLLOWING DIMENSIONAL STANDARDS:

MINIMUM LOT AREA:	7,000 S.F. (SQUARE FEET)
MINIMUM LOT WIDTH:	65 FEET
MINIMUM FRONT SETBACK:	15 FEET
MINIMUM REAR SETBACK:	15 FEET
MINIMUM SIDE SETBACK:	15 FEET
MAXIMUM IMPERVIOUS SURFACE COVERAGE:	50%
MAXIMUM BUILDING HEIGHT:	35 FEET
MAXIMUM BUILDING FOOTPRINT:	7,500 S.F.
- ACCORDING TO FEMA'S FLOOD INSURANCE RATE MAP NUMBER 2300SC0361F, PANEL 0361 OF 0837, EFFECTIVE DATE JUNE 20, 2024, THE LOCUS PROPERTY IS ENTIRELY WITHIN A ZONE X (AREAS OF MINIMAL FLOOD HAZARD).
- ACCORDING TO DEED 31615/94, THE LOCUS PROPERTY IS BURDENED BY A 16.5 FOOT WIDE RIGHT OF WAY BENEFITING RICHARD M. BARIBEAU & HENRY M. BARIBEAU, THEIR HEIRS AND ASSIGNS. SAID RIGHT OF WAY IS SHOWN ON PLAN REFERENCE #2 AND IS MORE PARTICULARLY DESCRIBED IN DEED 15611/7.
- PLEASANT STREET IS 66 FEET WIDE AS SHOWN ON PLAN REFERENCE #4. REFERENCE IS MADE TO THE CUMBERLAND COUNTY COMMISSIONER'S RECORDS, VOLUME 6, PAGE 1. THE LINE OF PLEASANT STREET SHOWN HEREON IS AN ASSUMED LINE AND IS BASED ON RECOVERED MONUMENTS.
- ACCORDING TO DEED 31615/94, THE LOCUS PROPERTY IS SUBJECT TO THE CONDITION THAT THE PREMISES SHALL NOT BE A REAL ESTATE OR INSURANCE BUSINESS SO LONG AS THE BARIBEAU REAL ESTATE AND INSURANCE AGENCY OWNS ADJACENT PROPERTY.

Boundary & Topographic Survey

At
53 Pleasant Street, Brunswick, Maine
Made for
Record Owner
XOA Moshier, LLC
53 Pleasant Street, Brunswick, Maine



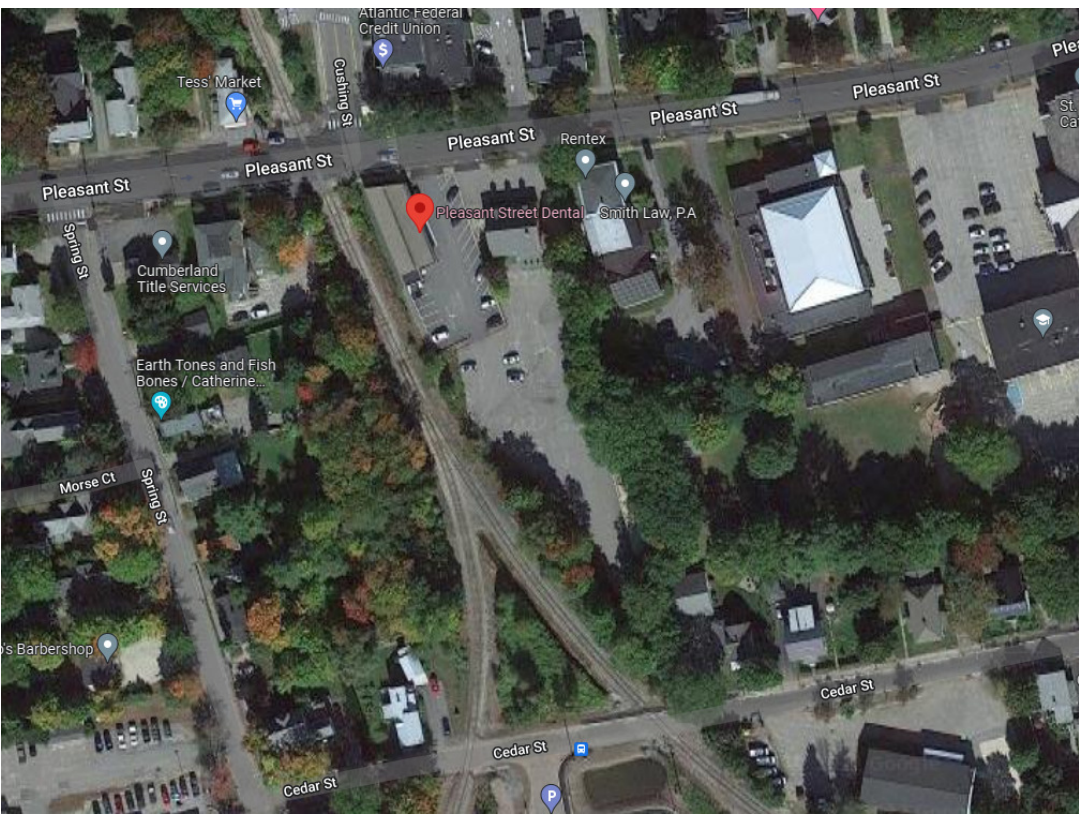
OWEN HASKELL, INC.

PROFESSIONAL LAND SURVEYORS

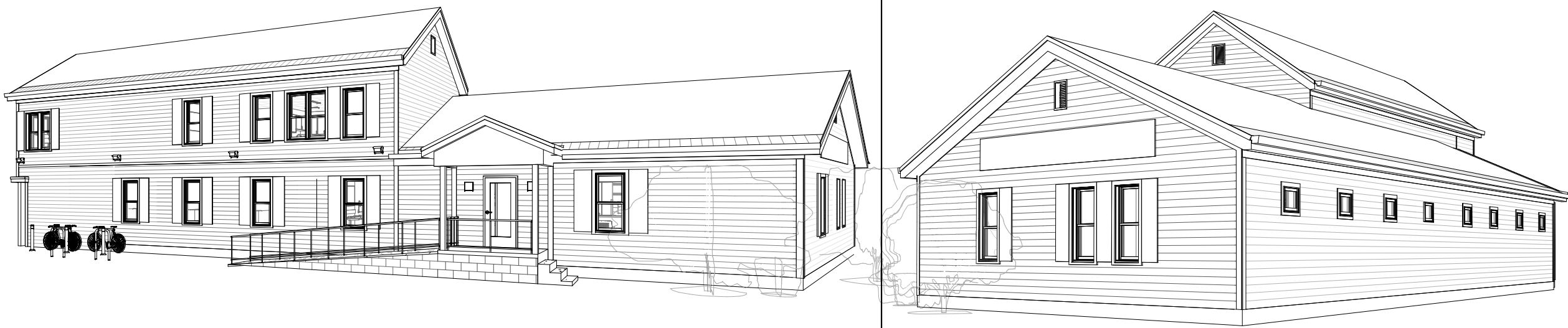
390 US ROUTE 1, UNIT 10, FALMOUTH, ME 04105 TEL. 207-774-0424

DRAWN BY: JWS DATE: DEC. 31, 2024 JOB NO. 2024-182

CHECKED BY: JWS SCALE: 1" = 20' DRWG. NO. 1



LOCUS MAP



PERSPECTIVES

OUTLINE SPECIFICATION

DIVISION 01: GENERAL REQUIREMENTS

01 25 00 SUBSTITUTION PROCEDURES

Submit product of fabrication method to be replaced to Architect/Owner. Provide statement specifying why product or fabrication cannot be provided, as applicable. Provide Comparison of qualities of proposed substitution w/those of work specified.

01 33 00 SUBMITTALS

Submit cutsheets w/ color/finish and accessory selections to Architect for review and approval. Architect will review, approve, or request clarification in <5 days.

01 64 00 OWNER-FURNISHED PRODUCTS

Contractor to notify owner of date owner-furnished products/equipment must be provided for install to allow owner adequate time to purchase equipment. Owner to arrange for secured-off site-storage as needed of equipment as required.

01 74 00 CLEANING & WASTE MANAGEMENT

Contractor shall keep premises free from accumulation of waste materials/rubbish during construction (including subcontractor's operations). Maintain construction and site in orderly manner. Store & dispose of hazardous or toxic products/waste in accordance w/local requirements and federal regulations. Provide provision cleaning of worksite daily placing waste materials in separate containers for recycling as applicable. Maintain construction area in broom-clean condition. Remove soil accumulations and mud resulting from construction activities from adjacent sidewalks/surfaces.

Final Cleaning:

Inspect interior & exterior surfaces including concealed spaces, in preparation for substantial completion & occupancy. Remove dirt, dust, litter, corrosion, solvents, discursive paint, stains, and extraneous markings. Wash & polish glass, metal, ceramic & polished surfaces. Remove tools and equipment used in construction, but not property of job site. Remove detachable labels and tags. Repair damaged materials to specified finish, or remove and replace them. Upon completion of construction, leave work site in clean, neat condition satisfactory to Owner or Architect.

01 79 00 DEMONSTRATION & TRAINING

Contractor to schedule demonstration/training of building systems and controls with users at mutually agreed upon time.

DIVISION 02: EXISTING CONDITIONS

02 41 00 BUILDING DEMOLITION

Demolish and remove any systems, materials, and structures as indicated on the drawings. Provide shoring/bracing as necessary to prevent collapse of existing systems and adjacent facilities or work to remain. Locate, identify, stub-off, and disconnect utility services indicated not to remain. Patch and repair flashing, paint, insulation, fire stopping and finishes to match adjacent in areas of disturbance. Material resulting from demolition and not identified for salvaging shall become property of the Contractor and shall be legally transported & disposed of off-site. Disposal shall be performed as promptly as possible, not left until final clean up.

DIVISION 03: CONCRETE

See structural drawings.

DIVISION 05: METALS

05 10 00 STRUCTURAL STEEL

See structural drawings.

05 40 00 COLD-FORMED METAL FRAMING

Furnish & install cold-formed steel framing, channel and furring strips as indicated on drawings. Studs shall be 16 gauge or heavier except when noted on drawings manufactured from steel sheet meeting requirements of ASTM A 1003, Structural Grade, Type H w/a minimum yield strength of 50,000 psi. Studs shall have pre-punched holes. Tracks shall be 18 gauge or heavier, unpunched tracks manufactured of commercial quality sheet metal meeting ASTM A 1003 w/a minimum yield strength of 50,000 psi. Both tracks and studs shall be hot dip galvanized in accordance with the following: Grade ST50H, Coating: G90. Zinc Rich Paint should be utilized for tough-up repair of galvanized coatings damaged during handling/erection.

DIVISION 06: WOOD, PLASTICS, & COMPOSITES

06 10 00 ROUGH CARPENTRY

Includes wood furring, sheathing, and blocking for built in casework and nailers for the top of all roof-framing members. Lumber should be SPF, construction grade.

06 20 00 FINISH CARPENTRY & MILLWORK

Provide all finish carpentry as indicated on the drawings including solid surface countertops w/undermounted stainless steel sinks per elevations and finish schedule(s). Provided solid surfacing in sizes, profiles, and configurations noted on drawings. Color(s) will be standard color(s) selected by Architect. Thickness indicated on drawings.

06 40 00 ARCHITECTURAL CASEWORK

Provide architectural woodwork as shown on drawings including plastic laminate casework. Quality standard: Provide AWI Premium Grade materials and workmanship. Laminate color(s) to be selected by Architect. Provide casework matching elevations & details indicated. Shelves, min. 3/4" MDF w/laminate on both sides, top & bottom. Shelves shall be adjustable as detailed & shall meet AWI standards for deflection. Style: Overlay construction w/flush doors & drawer fronts unless otherwise noted. Provide cabinets w/sliding/swinging doors, and interior cabinet surfaces to be melamine. Doors should be 3/4" MDF w/both faces plastic laminate adhered to core. Plastic laminate on edges. Provide door silencers, pulls as detailed, and soft-close 75 # Accuride C3800 slides or equal by Blum or Hafele. Provide shims, blocking, hanging strips, hooks, etc. for all accessories noted on drawings.

DIVISION 07: THERMAL AND MOISTURE PROTECTION

07 21 00 BUILDING INSULATION

Provide stonewool insulation for soundproofing/fireblocking as noted on drawings by Roxul, Inc.

07 10 00 DAMPPROOFING & WATERPROOFING

Patch, repair and flash new penetrations in exterior envelope.

07 65 00 FLEXIBLE FLASHING & 077200 ROOF ACCESSORIES

Flash all new penetrations in membrane roof with compatible systems. Utilize pre-fabricated boots, insulated curbs with cant strips, etc. as required.

07 92 00 JOINT SEALANTS

Use silicone or polyurethane sealants in place to match adjacent surfaces.

07 80 00 FIRE & SMOKE PROTECTION

Maintain rating of existing walls as indicated on drawing via firestop systems consisting of a material or combination of materials installed to retain the integrity of fire-rated construction by maintaining an effective barrier against the spread of flame, smoke, or gases through penetrations in fire-rated barriers. Firestopping materials/systems shall be installed conforming to UL designs. Firestopping materials classified as "Fill, Void or Cavity Material" for use in through-penetration firestops. Provide materials/construction identical to fire-rated assemblies tested in compliance with ASTM E 119, ASTM E814, UL 263 or NFPA 251 by independent agencies acceptable to Architect and governing bodies. No substitutions permitted. Burning Characteristics: products w/a maximum ASTM E 84 surface burning characteristics flame spread 25 and smoke developed index of 25. Fire stopping systems shall be tested in accordance w/ASTM E 814 or UL 1479 under min. positive pressure of 0.01" of water.

DIVISION 8: OPENINGS

08 11 00 METAL DOORS AND FRAMES

Provide Commercial-grade Level 1 metal doors & hollow-core knock-down frames, as noted on door schedule. Throat thickness of frame varies by wall type.

08 14 00 WOOD DOORS

Provide factory-finished (transparent) solid core slab birch veneer doors and tempered lites as shown on door schedules.

08 31 13 ACCESS DOORS & FRAMES

Furnish access doors & panels for installation as req. by drawings, including MEP. Factory-applied finish. Were installed in fire-rated walls panels shall be of resistance bearing a UL 2-hr label. Where installed in surfaces w/ceramic tile panels shall be stainless steel w/No. 4 finish. Where install in drywall access frames shall be flush edge-frame type, designed for drywall insert. Panels shall have concealed hinges.

08 70 00 HARDWARE

Commercial Grade 2 latch sets, hinges, stops, plates, pulls etc. in brushed satin stainless finish. Hardware as shown on sheet A-6.1. Keying per client.

08 80 00 GLAZING

Provide glazing on plan as shown.

DIVISION 9: FINISHES

09 06 00 SCHEDULE OF FINISHES

See finish schedules. Provide 5% attic stock of all interior finishes for future client use.

09 22 16 NON-STRUCTURAL METAL FRAMING

Provide metal stud wall and ceiling framing.

09 29 00 GYPSUM BOARD

Use 5/8" regular gypsum board on designated interior walls and on all ceilings. 5/8" water resistant gypsum board in wet areas. Use cementitious glass mesh mortar units on walls designated to have ceramic tile applied. Use Type X gypsum board on partitions requiring fire rating. Gypsum finish levels: Level 2 @ panels that are substrate for tile, Level 4 where exposed to view.

09 30 13 CERAMIC AND PORCELAIN TILE

Prep and prepare areas for ceramic tile and porcelain tile floors as shown on elevations/finish schedule. Utilize epoxy-grout for tiled floors. Tile and grout color(s) to be selected by Architect.

09 51 13 ACOUSTICAL PANEL CEILINGS

Provide ACT grid and tiles as indicated on drawings. Provide acoustical insulation above grid as noted on RCP in front-of-house areas.

09 65 00 RESILIENT FLOORING

Provide resilient flooring as shown on plans. Prepare concrete substrates in accordance w/ASTM F710 and manufacturer directions. Perform alkalinity and adhesion testing recommended by manufacturer. Perform moisture tests ASTM F 1869 and humidity test ASTM F 2170. Proceed only after substrates pass all testing as noted by manufacturer standards. Only utilize adhesives approved by manufacturer.

09 65 13 RESILIENT BASE

Provide resilient base as indicated on plans. Install w/manufacturer-approved adhesive in substrate conditions indicated.

09 77 00 SPECIAL WALL SURFACING

Furnish and wall protection and FRP as indicated on plans/elevations, Typ. Adhered w/fast-grab FRP adhesive. FRP shall be pebbled Class C finished w/matching moldings, dividing bars, and angles. Adhered to GWB W/FRP adhesive, under prep. conditions per manufacturer. recommendations.

09 91 00 PAINTING

Paint sheens, and colors per schedule. Meet state volatile organic compound requirements. One coat primer, two-finish coats. Color(s) selected by Architect.

DIVISION 10: SPECIALITIES

10 14 00 SIGNAGE

Signs for exam and common rooms as required shall include raised tactile ADA etched or routed infographics complying with ADA regulations. Surface mounted at ADA-heights/adjac. Finishes selected by Architect. Framed occupancy certificate and evacuation plan (supplied by Architect). Vinyl wall/window graphics and exterior building signs to be provided by contractor, in coordinate w/client and Architect. Contractor to supply supplemental permits from Town.

10 26 00 WALL PROTECTION

Furnish and install chair rail (WP-1 & WP-2) and corner guards (CG-1) as annotated on floorplans.

10 28 13 TOILET ACCESSORIES

Accessories including soap dispensers, towel dispensers, waste receptacles, toilet paper holders, grab bars, and framed glass mirrors per accessories schedule.

10 44 00 FIRE PROTECTION SPECIALITIES

Manual extinguishing equipment per accessories sheet in accordance with NFPA 1 and 101.

11 77 00 RADIOLOGY EQUIPMENT

X-Ray installed w/shielding per manufacturer and remote activation.

11 94 00 DENTAL EQUIPMENT

Dental equipment installed per manufacturer. Rough in plumbing provided by contractor, coordinated with vendor.

DIVISION 12: FURNISHINGS

12 36 00 COUNTERTOPS

Provided solid surfacing in sizes, profiles, and configurations noted on drawings. Color(s) will be standard color(s) selected by Architect. Thickness indicated on drawings.

12 50 00 FURNITURE

Furnishings provided per schedule

GENERAL NOTES

1. DO NOT SCALE DRAWINGS – WORK FROM DIMENSIONS ONLY.

2. THIS PROJECT INVOLVES AN EXISTING STRUCTURE. DIMENSIONS SHOWN ON THE DRAWING ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED. THE GENERAL CONTRACTOR SHALL MEASURE AND VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION.

3. DIMENSIONS ARE TO FACE OF FRAMING, FOUNDATION UNLESS NOTED OTHERWISE. IN ADA-COMPLIANT BATHROOMS DIMENSIONS ARE FROM FACE OF OWB.

4. ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL, STATE, & LOCAL CODES.

5. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING REQUIRED PERMITS.

6. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS OFF-SITE.

7. SEE STRUCTURAL NOTES FOR FRAMING, CONCRETE, SPECIES, AND OTHER STRUCTURAL RELATED NOTES.

8. GENERAL CONTRACTOR TO USE LICENSED & INSURED SUB-CONTRACTORS.

9. GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITIES.

10. CONTRACTOR SHALL SCHEDULE SITE VISIT WITH ARCHITECT AND ENGINEER AFTER DEMOLITION HAS BEEN CONDUCTED TO EXPOSE UNKNOWN PORTIONS OF EXISTING STRUCTURE(S) TO CONFIRM ASSUMPTIONS USED IN ENGINEERING CALCULATIONS AND VERIFY QUALITY OF STRUCTURAL MEMBERS AND EXISTING STRUCTURAL CONNECTIONS.

11. CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITION DIFFERENT FROM THOSE SHOWN ON THE DRAWINGS, AND SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITION THAT PREVENTS CONTRACTOR'S COMPLETION OF THE WORK AS SHOWN ON THE DRAWINGS.

12. CONTRACTOR SHALL COORDINATE BUILDING INSPECTIONS AND OBTAIN CERTIFICATE OF OCCUPANCY AT COMPLETION OF PROJECT.

13. CONTRACTOR SHALL PROVIDE OWNER WITH COPIES OF ANY MANUALS/OPERATIONAL GUIDES, WARRANTY OR REBATE DOCUMENTATION, ETC. TO OWNER AT COMPLETION OF PROJECT.

14. CONTRACTOR SHALL PROVIDE OWNER WITH POST-OCCUPANCY FOLLOW-UP TRAINING ON MECHANICAL AND ELECTRICAL SYSTEMS TO ORIENT THEM TO VARIOUS CONTROLS AND ENSURE UNDERSTANDING OF RECOMMENDED MAINTENANCE SCHEDULES, ETC.

GENERAL CARPENTRY NOTES

1. WOOD BLOCKING IN CONTACT WITH CONCRETE OR STONE TO BE PRESERVATIVE TREATED BY PRESSURE PROCESS. SEAL CUTS IN "PT" WOOD WITH FIELD APPLIED PRESERVATIVE. USE STAINLESS STEEL FASTENERS.

2. PROVIDE PAPERLESS, MOISTURE RESISTANT GWB IN BATHROOMS, TYP.

3. TAPE ALL GYPSUM SEAMS AND PAINT PER FINISH SCHEDULE. WALL FINISH 4 TYPICAL U.N.O.

INSULATION, FLASHING, WATERPROOFING

1. PROVIDE PRE-MOLDED ISOLATION STRIP BETWEEN ALL FOUNDATION WALLS AND CONCRETE SLAB.

2. INSTALL WINDOWS & FLASHING FOLLOWING MANUFACTURERS INSTRUCTIONS. USE FASTFLASH LIQUID-APPLIED FLASHING TO PROVIDE WATERPROOF SEAL. USE HORSESHOE SHIMS @ BOTTOM OF WINDOWS TO HOLD FLANGE OFF SHEATHING, ALLOWING WATER TO DRAIN IF WINDOW FAILS.

3. PROVIDE A CONTINUOUS BEAD OF SEALANT IN ALL JOINTS IN BUILDING, INCLUDING: ENVELOPE, PERIMETER, ISOLATION JOINTS, COLUMN PIPE, ALL PENETRATIONS AND CONDITIONS, SO THAT NO MOISTURE, VAPOR, OR GAS MAY PASS THROUGH STRUCTURE.

4. BOTTOM EDGE OF ROOFING & VALLEYS EXTENDING 3'-0" SHALL HAVE A WATERPROOF MEMBRANE LIKE "ICE & WATER SHIELD."

5. WOOD BLOCKING IN CONTACT WITH CONCRETE OR STONE TO BE PRESERVATIVE TREATED BY PRESSURE PROCESS. SEAL CUTS IN "PT" WOOD WITH FIELD APPLIED PRESERVATIVE. USE STAINLESS STEEL FASTENERS.

6. USE SPRAY FOAM INSULATION TO SEAL AIR GAPS IN HARD-TO-REACH AREAS UNLIKELY TO BE FILLED DURING APPLICATION OF INSULATION.

7. PROVIDE METAL DRIP EDGES ON ALL ROOF EAVES, TYP. AND METAL FLASHING W/DRIP EDGE ON WINDOW HEADS, TYP.

HEATING, PLUMBING AND MECHANICAL

1. ALL WORK TO BE PERMITTED AND COMPLETED VIA LICENSED CONTRACTORS IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

2. GENERAL CONTRACTOR TO ENSURE BLOCKING & PLUMBING/ELECTRICAL FIXTURES/CONTROLS MEET ADA REGULATIONS FOR COMMERCIAL PROJECTS.

LIFE SAFETY, ACCESSIBILITY & FIRE PROTECTION

1. CONTRACTOR TO ENSURE DOORS, AND OTHER PENETRATIONS, IN FIRE-RATED ASSEMBLIES MEET OR EXCEED RATING MINIMUMS. PROVIDE HOLD-OPENS, CLOSURES, AND OTHER COMPLIANT HARDWARE IN ACCORDANCE WITH BUILDING CODES.

2. PROVIDE THRU-PENETRATION FIRE-STOPPING AT ALL PENETRATIONS TESTED TO MEET ASTM E 814 OR UL 1479 PER IBC 714.3.1.2. NOTE THAT FIRE RESISTANCE RATING SHALL NOT BE LESS THAN THE RATING OF THE WALL(S) PENETRATED.

SHEETS					
#	Name	Current Revision	Revision Date	Revision Description	Issued By
C-30	CONTEXT				
T-1	TITLE, OUTLINE SPEC, NOTES				
LS-1.1	LIFE SAFETY PLANS				
C-10	EXISTING SITE PLAN				
C-20	SITE PLAN				
A-1.1	FIRST FLOOR & DEMO PLAN				
A-1.2	SECOND FLOOR & DEMO PLAN				
A-1.3	CRAWL SPACE + ROOF				
A-1.4	REFLECTED CEILING PLAN				
A-1.5	FLOOR PATTERN & LEGEND				
A-1.6	FURNITURE & EQUIPMENT PLAN				
A-3.1	SECTION				
A-4.1	INTERIOR ELEVATIONS				
A-4.2	INTERIOR ELEVATIONS				
A-2.1	ELEVATIONS & PERSPECTIVES				
A-6.1	SCHEDULES & FINISHES				
S1.0	GENERAL NOTES				
S1.1	FOUNDATION PLAN				
S1.2	FIRST FLOOR FRAMING PLAN				
S1.3	SECOND FLOOR FRAMING PLAN				
S1.4	ROOF FRAMING PLAN				
S2.1	DETAILS				
H1.0	LEGENDS, NOTES & ABBREVIATIONS				
H2.0	FIRST FLOOR PLAN				
H2.1	SECOND FLOOR PLAN				
H2.2	ROOF PLAN				
H3.0	DETAILS (1-2)				
H3.1	DETAILS (2-2)				
H4.0	CONTROLS & SCHEDULES				
H5.0	SPECIFICATIONS				
E1.0	LEGEND, NOTES & ABBREVIATIONS				
E3.0	LIGHTING PLAN - FIRST FLOOR				
E3.1	LIGHTING PLAN - SECOND FLOOR				
E4.0	POWER & DATA PLAN - FIRST FLOOR				
E4.1	POWER & DATA PLAN - SECOND FLOOR				
E6.0	PANELBOARD SCHEDULES				
E6.1	EQUIPMENT SCHEDULES				
E7.0	ONE-LINE & RISER DIAGRAMS				
E8.0	SPECIFICATIONS (1-2)				
E8.1	SPECIFICATIONS (2-2)				
P1.0	LEGENDS, NOTES & ABBREVIATIONS				
P2.0	BASEMENT				
P2.1	FIRST FLOOR PLAN				
P2.2	SECOND FLOOR PLAN				
P3.0	DETAILS				
P4.0	SPECIFICATIONS				

SYMBOLS LEGEND			
	SECTION DETAIL		REVISION
	VIEW TITLE		SPOT ELEVATION
	ELEVATION		WINDOW TAG
	ROOM NAME, NUMBER & SF		SPECIALTY EQUIPMENT
	SECTION		DOOR TAG
	NORTH SYMBOL		WALL TAG
	INTERIOR ELEVATION		CENTERLINE

ABBREVIATIONS
ADA Americans with Disabilities Act
AF Above Finish Floor
CF Contractor Furnished, Contractor Installed
DWG Drawing
ELEV Elevation
GA Gauge
GW Gypsum Wall Board
EQ Equal
ETR Existing to Remain
GFF Gallons Per Flush (toilets)
FE Fire Extinguisher
HVAC Heating, Ventilation and Air Conditioning
LM Lumens
MIN Minimum
NTS Not to scale
OF Owner Furnished, Contractor Installed
OF Owner Furnished, Owner Installed
PSI or PSF Pounds per Square Inch or Pounds per Square Foot: (measurement of pressure or strength)
PTM Patch To Match
UNO Unless Noted Otherwise
R-Value Thermal Resistance
RCP Reflected Ceiling Plan
SHG Solar Heat Gain
SF Square Foot
SM Similar
SS Stainless steel
STRUCT Structural
TBD To Be Determined
T.O. Top Of
TYP Typical
VF Verify In Field
VT Visual Transmittance: (measurement of transparency/translucency)
WC Water Closet (bathroom)

EROSION CONTROL NOTES
1. DISTURBED AREAS ARE DEFINED AS THOSE SURFACES WHERE EXISTING VEGETATION OR STRUCTURES HAVE BEEN REMOVED, EXPOSING NATIVE SOIL TO THE ELEMENTS.

2. ALL ROUTINE WORK ACTIVITIES SHALL BE CONDUCTED IN SUCH A WAY TO LIMIT THE AMOUNT OF DISTURBED AREA @ ONE TIME TO THE EXTENT PRACTICAL.

3. PRIOR TO THE START OF CLEARING/LAND DISTURBING ACTIVITIES, CONTRACTOR SHALL INSTALL APPLICABLE EROSION CONTROL DEVICES SUCH AS PERIMETER SILT FENCE, AND OTHER APPLICABLE MEASURES. IN THE EVENT THE CONTRACTOR IS NOT SURE AN EROSION CONTROL MEASURE SHOULD BE IMPLEMENTED, THE CONTRACTOR SHALL CONTACT THE ARCHITECT OF RECORD TO CONFIRM IMPLEMENTATION OF ANY EROSION CONTROL DEVICES.

4. ALL GROUND AREAS GRADED FOR CONSTRUCTION SHALL BE GRADED, LOAMED, SEEDED & MULCH SHALL BE APPLIED AS SOON AS POSSIBLE W/IN 7 DAYS FOLLOWING THE COMPLETION OF ANY SOIL DISTURBANCE, AND PRIOR TO ANY STORM EVENT.

5. EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY, THE CONTRACTOR SHALL REFERENCE THE APPROVED EROSION AND SEDIMENTATION CONTROL REPORT FOR TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL DEVICES IN ADDITION TO THE PLAN SET. THE CONTRACTOR SHALL ALSO REFER TO THE MAINE DEP BEST PRACTICE GUIDES.

SEDIMENT CONTROL FENCE

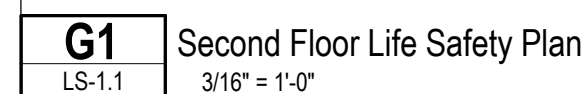
1) PROVIDE SEDIMENT CONTROL FENCE DURING CONSTRUCTION TO PREVENT SEDIMENT FROM BEING WASHED INTO DRAINAGE SYSTEM. BURY TOE OF FENCING 8" TO PREVENT UNDERCUTTING.
2) WHEN JOINTS ARE NECESSARY, SECURELY FASTEN TO FABRIC @ A SUPPORT POST W/OVERLAP TO NEXT POST.
3) FILTER FABRIC TO BE NYLON, POLYESTER, PROPYLENE OR ETHYLENE. YARN W/EXTRA STRENGTH - 50 #/LINEAR INCH (MIN) & FLOW RATE OF 0.3 GAL/FT SQUARE / MINUTE W/UY RAY INHIBITORS & STABILIZERS.
4) POST TO BE 4" DIAMETER PINE, MIN LENGTH 4'-0".





FILTER SOCKS

1) PROVIDE FILTER SOCK(S) FILLED W/EROSION CONTROL MIX AROUND PEREMETER

INLET PROTECTION

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LIFE SAFETY LEGEND			
	EXIT SIGN - WALL MOUNTED		EXIT SIGN - CEILING MOUNTED
	1-HR RATED PARTITION		SEMI-RECESSED FIRE EXTINGUISHER CABINET

DESCRIPTION
 TENANT FITOUT OF AN EXISTING DENTAL CLINIC TO ADD 4 OPERATORIES FOR A TOTAL OF 10 OPERATORIES, ALL PATIENTS WILL BE ABLE TO SELF-RESCUE. CONSTRUCTION TO OCCUR IN 2 PHASES. ACCESSIBLE ENTRY MAINTAINED THROUGHOUT PROJECT. ADDITION TO INCLUDE 300 SF NEW ADA ENTRY & ENLARGED UPPER FLOOR AT 4,543 SF TOTAL CLINIC.

RADIATION
 THE CLINIC WILL INCLUDE A DENTAL X-RAY UNIT. A RADIATION REPORT WILL BE MAINTAINED ON SITE. NOTE ACTIVATION SWITCH TO BE LOCATED OUTSIDE ROOM.

GENERAL
 -ADDRESS | 53 PLEASANT
 -PARCEL ID | U156-51
 -LOT AREA | 0.29 ACRES
 -BUILDING AREA | 4,543 SF
 -USE | DENTAL CLINIC (BUSINESS)
 -BUILT | 1990 (PER ASSESSOR)

APPLICABLE BUILDING CODES
 -IBC 2015
 -IEBC 2015
 -IECC 2015
 -UPC 2018
 -ADA 2010
 -2009 ANSI A117.1
 -NFPA 101-2018
 -LOCAL ZONING ORDINANCES

ZONING
 -ZONE | GR6
 -PREVIOUS USE | 3420 (MEDICAL OFFICE - NO CHANGE)
 -MIN LOT SIZE | 7,000 SF
 -FRONT SETBACK | 15'-0"
 -REAR SETBACK | 15'-0"
 -SIDE SETBACK | 15'-0"
 -MAX COVERAGE | 35%. ALL NC IS AT EXISTING IMPERV.
 -BUILDING HEIGHT | 35'-0"
 -EAVE | 13'-0" INTO SETBACK
 -ACCESS RAMP | PERMITTED WITH SETBACK
 -FENCE | ANYWHERE IN SETBACK - IN FRONT MUST NOT EXCEED 4'-0"
 -PARKING REQ | 1 SPACE PER 200 SF (MEDICAL), 1 PER 400 SF OFFICE = 23 SPACES REQ.

IECC 2015
 -SCOPE: LEVEL 3 ALTERATION
 -ENERGY LEVEL 4 ALTERATION PERMITTED W/OUT REQ. ENTIRE BUILDING OR STRUCTURE TO COMPLY W/IECC. ALTERATION SHALL COMPLY WHERE THEY RELATE TO NEW CONSTRUCTION ONLY (906.1)

IBC 2015
 -CONSTRUCTION TYPE | 5B
 -OCCUPANCY | BUSINESS (ALL PATIENTS ABLE TO SELF RESCUE)
 -SPRINKLER | NONE
 -HEIGHT | 2 STORY
 -FIRE ALARM: NOT REQ FOR BUSINESS W/UNDER 500 PERSONS OR 100 ABOVE LEVEL OF EXIT DISCHARGE. NOTE CLINIC IS NOT AMBULATORY CARE FACILITY PER DEFINITIONS IN IBC (907.2)
 -OCCUPANT LOAD | 49 PERSONS (FIRST FLOOR) & 49 PERSONS (SECOND FLOOR), NO SIMULTANEOUS LOADING
 -EGRESS | 34' (36 DOOR) = 170 occ. PER DOOR LEAF (34' / 0.2 = 170) (1005.3)
 -WALL & CEILING FINISH CLASSIFICATION: CLASS C (803.1)
 -OBJECTS | 27'-80" AFF SHALL NOT PROTRUDE MORE THAN 4" (1003.3)
 -OCCUPANT LOADING | (1004.1.2)
 -BUSINESS | (100 GROSS PER PERSON)
 -WAITING AREA | (15 GROSS)
 -TABLES/CHAIRS | (15 NET)
 -ACCESSORY MECHANICAL | (300 GROSS)
 -DOORS SHALL NOT REDUCE THE REQUIRED EGRESS WIDTH BY MORE THAN 7" WHEN FULLY OPEN. DOORS IN ANY POSITION SHALL NOT REDUCE THE REQUIRED DISTANCE BY MORE THAN 1/2 (1005.7.1)
 -ONE EXIT: ALLOWED FOR SECOND STORY UNDER 49 PERSONS. MAX COMMON PATH OF TRAVEL 75'-0" (1006.3.2)
 -ONE 1/2 EXIT: ARRIVAL POINT & BARRIER-FREE PATH OF TRAVEL (1104.1) AND WITHIN A SITE (1104.2)
 -COMMON USE CIRCULATION PATHS WITHIN EMPLOYEE WORK AREAS SHALL BE ACCESSIBLE (1104.3.1)
 -ACCESSIBLE PATH WITHIN AN EMPLOYEE WORK AREA UNDER 1,000 SF NO REQ. TO BE ACCESSIBLE (1104.3.1)
 -AT LEAST ONE ACCESSIBLE ENTRANCE PER TENANT IN A FACILITY (1105.16)
 -PARKING | 1 ACCESSIBLE SPACE FOR 1-25 SPACES REQ. (1106.1)
 -WHERE DOORS SWING INTO TOILET ROOMS A 30"x48" CLEAR AREA SHALL BE PROVIDED BEYOND THE DOOR SWING
 -WHERE BUILT-IN WORK COUNTERS ARE PROVIDED AT LEAST (1) BUT NOT LESS THAN 5% SHALL BE ACCESSIBLE (1109.11)
 -WHERE POINT OF SALE OR SERVICE (I.E. RECEPTION) COUNTERS ARE PROVIDED NO LESS THAN 1 SHALL BE ACCESSIBLE (1109.12)
 -CONTROLS, OPERATING MECHANISMS & HARDWARE SHALL BE ACCESSIBLE (1109.13)

NFPA 101-2018 (CHAPTER 3B)
 -OCCUPANCY CLASSIFICATION: BUSINESS (A-3.3.196.3)
 -BUSINESS OCCUPANCY UNDER 3 STORIES W/FEWER 30 OR FEWER PERSONS PERMITTED SINGLE EXIT W/EXIT DISCHARGE OUTSIDE BUILDING. EXITS OUTSIDE BUILDING UNDER 100'-0". EXIT STAIRS NOT SERVING OTHER STORIES (38.2.4.4)
 -OCCUPANT GAS STORAGE AND OPERATION/MANAGEMENT IN ACCORDANCE WITHNFPA 99 (38.3.2.4)
 -EMERGENCY LIGHTING REQUIRED FOR OCCUPANT LOAD OVER 50 PERSONS ABOVE OR BELOWS LEVEL OF EXIT DISCHARGE (38.2.9)
 -FIRE ALARM: WHEN BUILDING IS 3 OR MORE STORIES OR MORE THAN 50 ABOVE LEVEL OF EXIT DISCHARGE (38.3.4.1)
 -CEILING/WALL FINISH CLASS A OR B (38.3.3.2.1)
 -CARPET/FLOORING COMPLY WITH ASTM D2859 (10.2.7.1)
 -LOADING: BUSINESS 150 SFPF. COLLABORATION ROOMS s450 = 30 SFPF (7.3.1.2)

ADA
 -5% OF WORK STATIONS, AT LEAST 1 (1) TO BE ACCESSIBLE (226.1)
 -CHECK-OUT SERVICE AREAS TO HAVE AT LEAST 1 (1) ACCESSIBLE AREA FOR BUSINESS WITH 1-4 OF EACH FUNCTION (227.3)
 -THRESHOLDS MAX. OF 1/4" OR 1/2" IF BEVELED IF SLOPE IS NOT STEEPER THAN 1:12 (303.2)
 -TOE CLEARANCE
 -SHALL BE 30" WIDE MIN (306.2.5)
 -SHALL EXTEND 17" UNDER ELEMENTS (306.2.3)
 -MIN. OF 3" HIGH FOR 6" BEYOND AVAILABLE CLEARANCE (306.2.4)
 -KNEE CLEARANCE (306.3)
 -MIN. OF 30" WIDE
 -MIN. OF 27" HIGH
 -BTW 9-27" AFF THE CLEARANCE CAN BE REDUCED 1" IN DEPTH PER 6"
 -NO PROTRUDING OBJECTS GREATER THAN 5/8" MAX BTW 27'-00" (307.2)
 -UNOBSTRUCTED FORWARD REACH MAX. 15'-48" AFF (308.2.1)
 -UNOBSTRUCTED REACH AT 24" COUNTER 44" MAX (308.2.2)
 -UNOBSTRUCTED SIDE REACH 15'-48" AFF (308.3.1)
 -UNOBSTRUCTED SIDE REACH AT 24" COUNTER 46" MAX (308.3.2)
 -OPERABLE PARTS SHALL REQ. NO PINCHING, THICK GRASPING OR TWISTING OF THE WRIST. MAX. FORCE TO ACTIVATE OPERABLE PARTS LESS THAN 5 LBS (309.2.1)
 -DOOR OPENING CRI WIDTH OF 32" (404.2.3)
 -SIGNS: SHALL INCLUDE BRAILLE (703.2) RAISED CHAR. 1/32" CHARACTERS SAN SERIF & MTS. OTHER SPEC. OF ADA 703.
 -SIGNS MUST BE PLACED WITHIN 18" OF DOOR

ANSI A117.1
 -VERTICAL GRAB BAR: 18" MIN. VERT. GRAB BAR MOUNTED 39-41" AFF FROM FLOOR AND REAR WALL ON SIDEWALK OF TOILET (804.5.1)

UPC 2021 (TABLE 422.1)
 TOTAL BUILDING OCCUPANCY: 49 (FIRST) + 30 (SECOND) = 79 PERSONS / 2 = 40 MEN + 40 WOMEN
 -TOILET: 1:1-50 MEN; 3:31-50 WOMEN
 -SERVICE SINK: 1 SINK
 -SINKS: 1:1-100 MEN; 1:1-50 WOMEN
 -PER CORRESPONDENCE W/CODE ENFORCEMENT OFFICIAL MIKE PENDELL 08/07/24 FIXTURE REDUCTION DUE TO NO SIMULTANEOUS LANDING OF SPACES ACCEPTED. ALLOW SHARED FACILITIES PER UPC 422.2.(3)

IECC 2015 (ZONE 6)
 -ENVELOPE REQUIREMENTS (C402.1.3)
 -WALLS: R-13 + R-7.5ci OR R-20 + R-3.9ci
 -ROOF: R-49
 -UNHEATED SLAB: R-10 TO 24" BELOW GRADE
 -HEATED SLAB: R-15 TO 36" BELOW GRADE
 -WALLS BELOW GRADE: R-7.5 CI
 -SRI OF ROOFING: THREE YEAR SRI OF 64 (C402.3)
 -WINDOWS (C402.4)
 -OPERABLE WINDOWS: 0.43 U-FACTOR
 -FIXED WINDOWS: 0.36 U-FACTOR
 -SHGC: 0.40 SEW & 0.53 N ORIENTATION
 -ENTRANCE DOORS: 0.77 U-FACTOR
 -AIR LEAKAGE: TESTED IN ACCORDANCE W/ASTM E779 @ 75 Pa W/LEAKAGE RATE OF 0.40 CFM75' (C402.5)
 -AIR BARRIER REQ. (C402.5.1)
 -ACCEPTABLE AIR BARRIER MATERIALS: 5/8" GWB (C402.5.1.2.1)

A

B

c

D

F

F

G

H

1

J

Pleasant Street Dental Associates

SITE
53 Pleasant Street
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CLIENT

Dr. James Moshier
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TAYLOR PETERSON
HENRY SCHEIN
603-320-6333

No.	Description	Date

LIFE SAFETY PLANS

Project number	22-30_PLEASANT ST DENTAL
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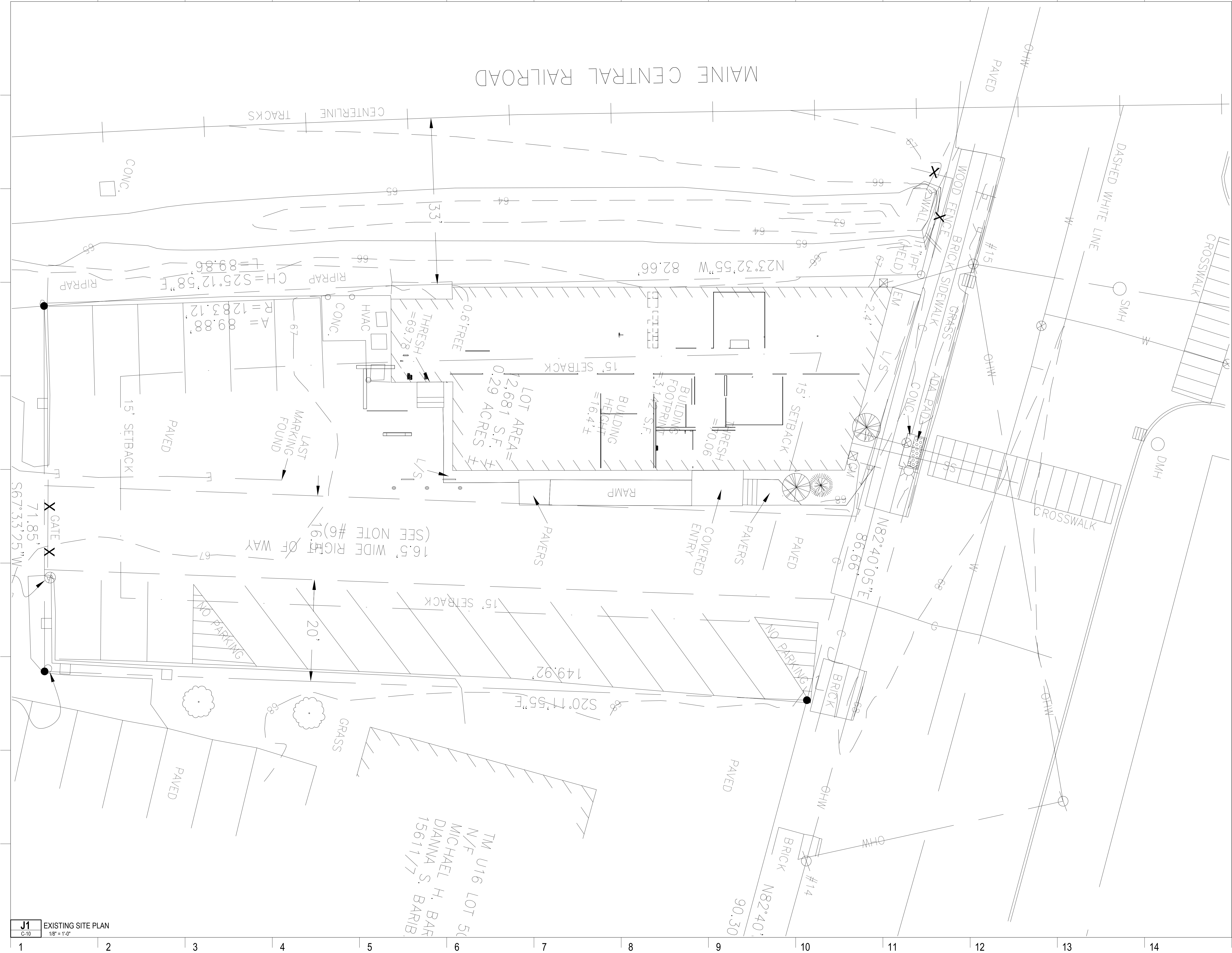
Date	12.16.24
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Drawn by	TR
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Project Status	DD
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LS-1.1

Scale	As indicated
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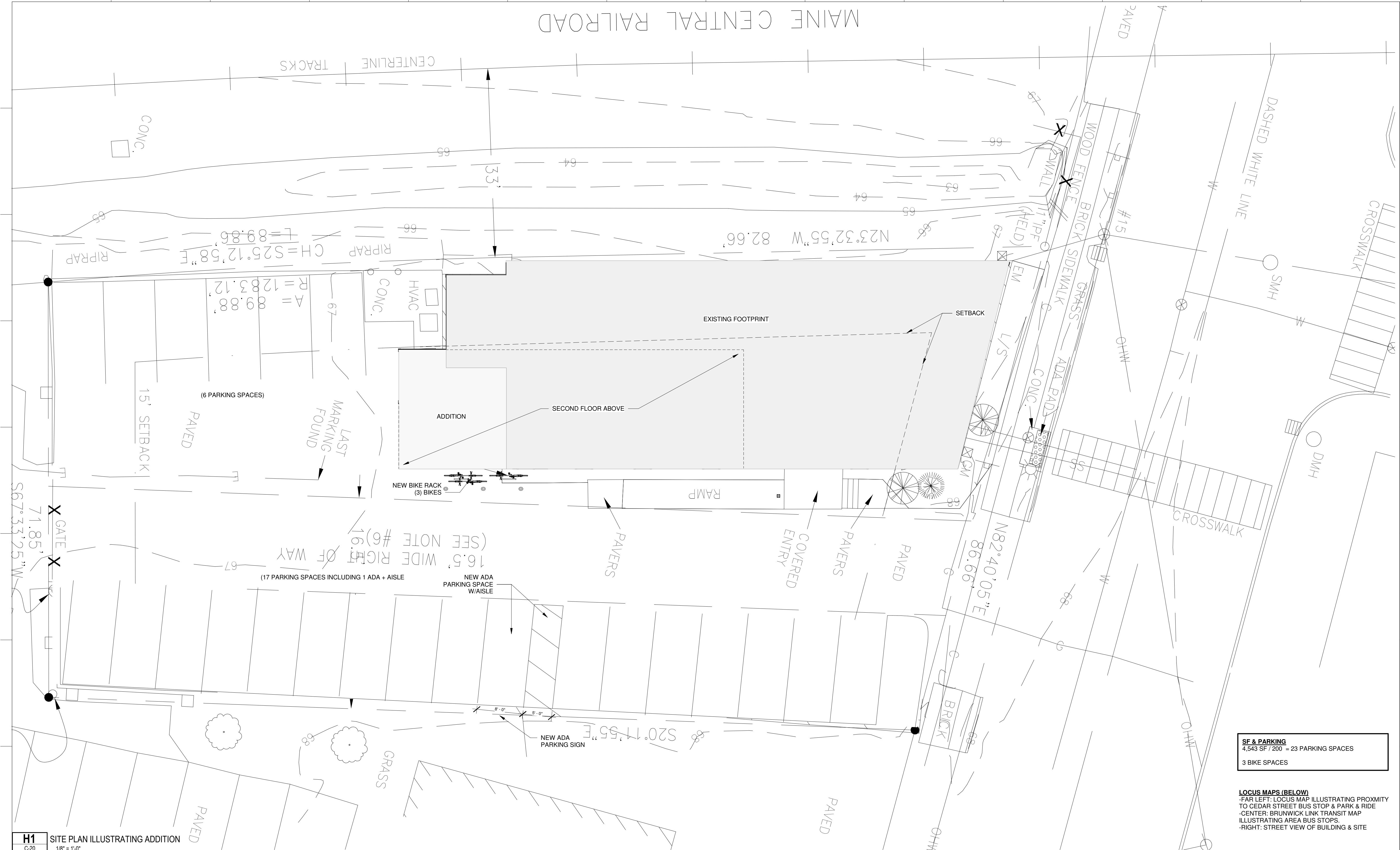
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EXISTING
SITE PLAN

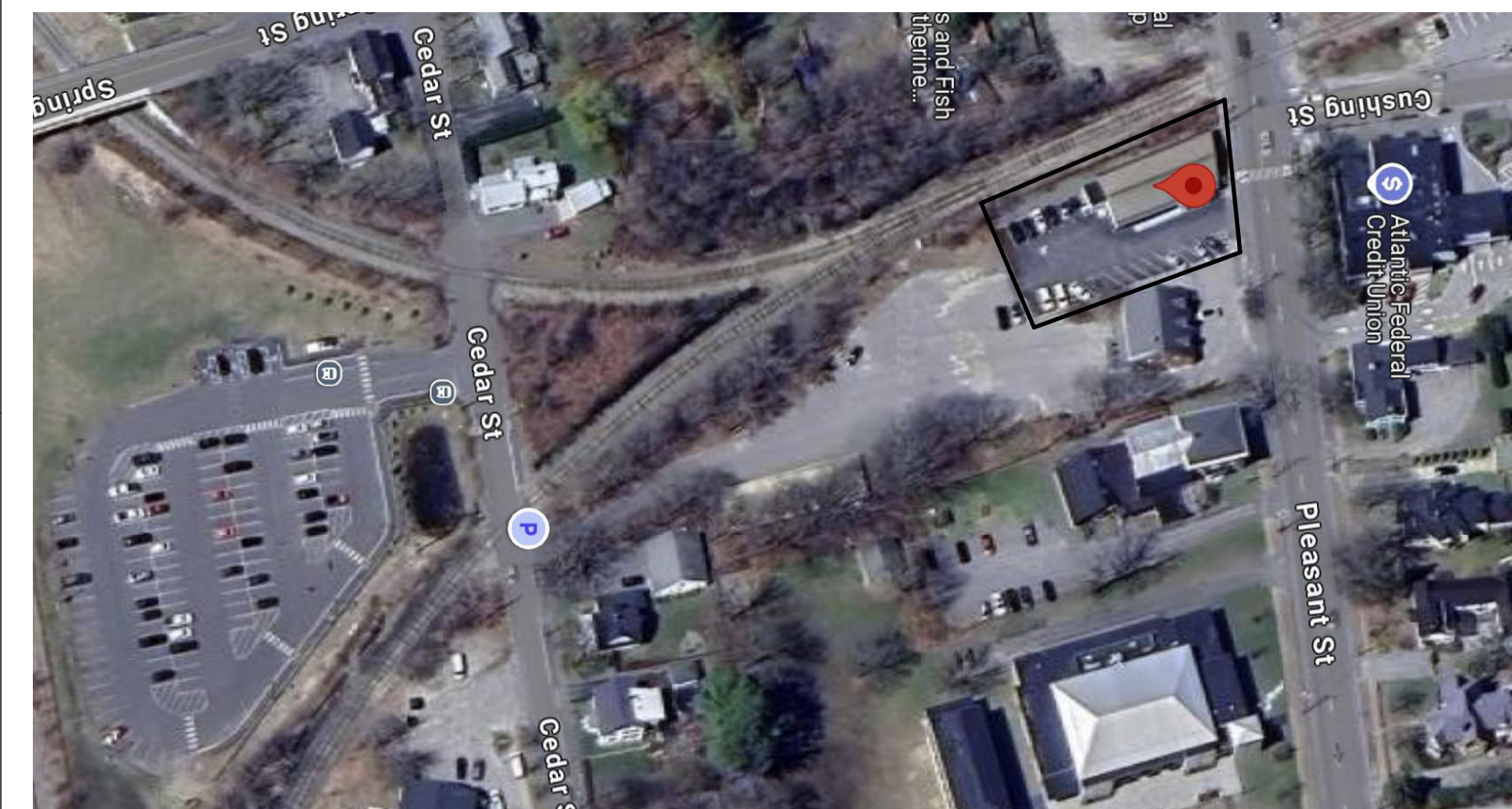
Project number	22-30_PLEASANT ST DENTAL
Date	12.16.24
Drawn by	Author
Project Status	DD

C-10

Scale 1/8" = 1'-0"



H1 SITE PLAN ILLUSTRATING ADDITION
C-20 1/8" = 1'-0"



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SF & PARKING
4,543 SF / 200 = 23 PARKING SPACES
3 BIKE SPACES

LOCUS MAPS (BELOW)
-FAR LEFT: LOCUS MAP ILLUSTRATING PROXIMITY
TO CEDAR STREET BUS STOP & PARK & RIDE
-CENTER: BRUNWICK LINK TRANSIT MAP
ILLUSTRATING AREA BUS STOPS
-RIGHT: STREET VIEW OF BUILDING & SITE

SITE PLAN

Project number 22-30_PLEASANT ST DENTAL

Date 12.16.24

Drawn by TR

Project Status DD

C-20

Scale 1/8" = 1'-0"



A



C



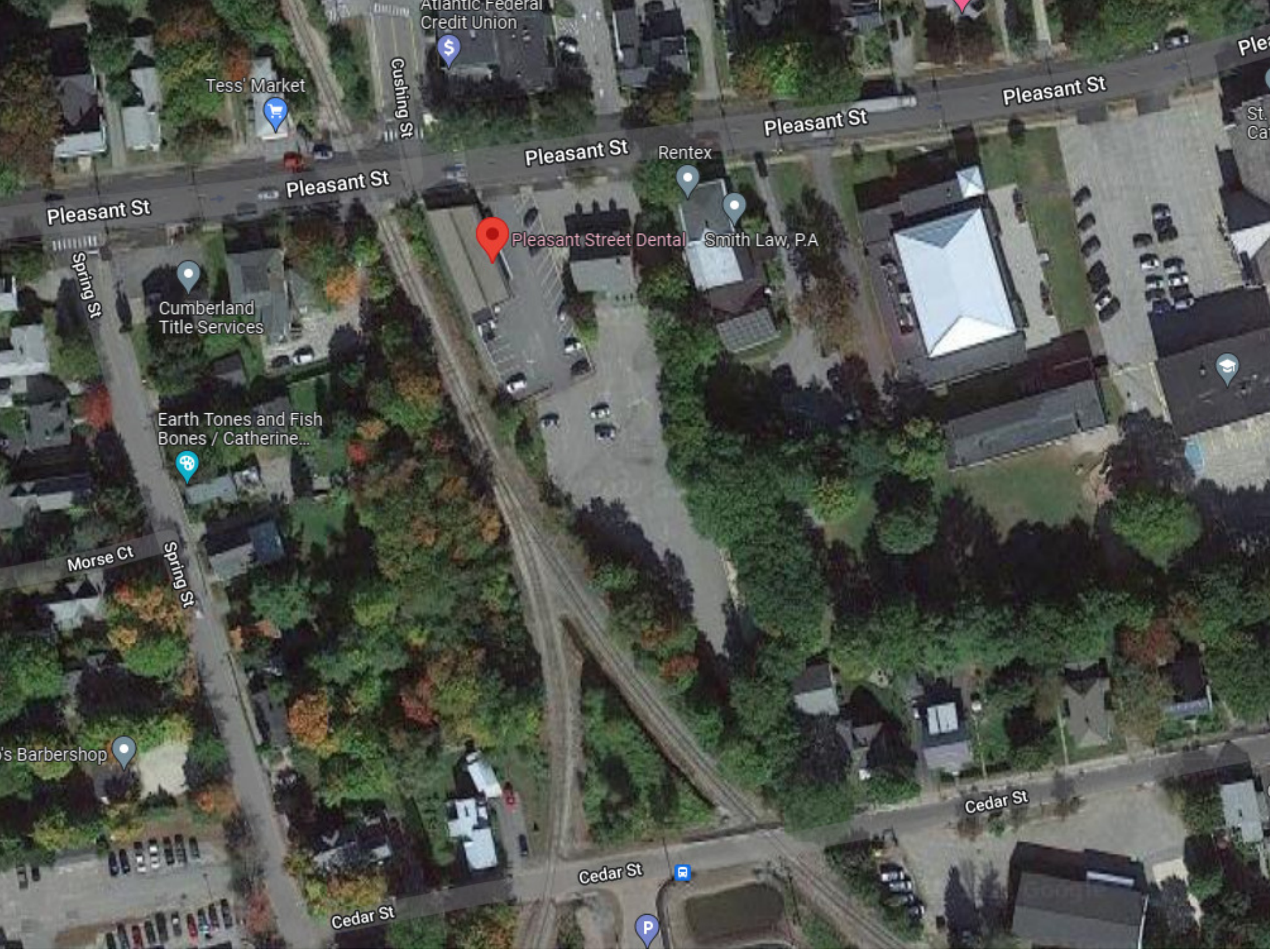
D



B



E



CONTEXT PHOTOS
A: STREET FACADE (PLEASANT STREET)
B: FRONT CORNER FROM PLEASANT STREET ADJACENT TO RAIL CORRIDOR
C: BUILDING FROM PARKING LOT
D: LOOKING TOWARDS PLEASANT STREET
E: REAR OF BUILDING

ADJACENT STRUCTURES
F: ATLANTIC FEDERAL CREDIT UNION - ACROSS STREET
G: BARIBEAU BLDG. REAL ESTATE - ADJACENT



F



G

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No.	Description	Date

CONTEXT

Project number	22-30_PLEASANT ST DENTAL
Date	12.16.24
Drawn by	Author
Project Status	DD
C-30	
Scale	

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**FIRST
FLOOR &
DEMO PLAN**

Project number 22-30_PLEASANT ST DENTAL

Date 12.16.24

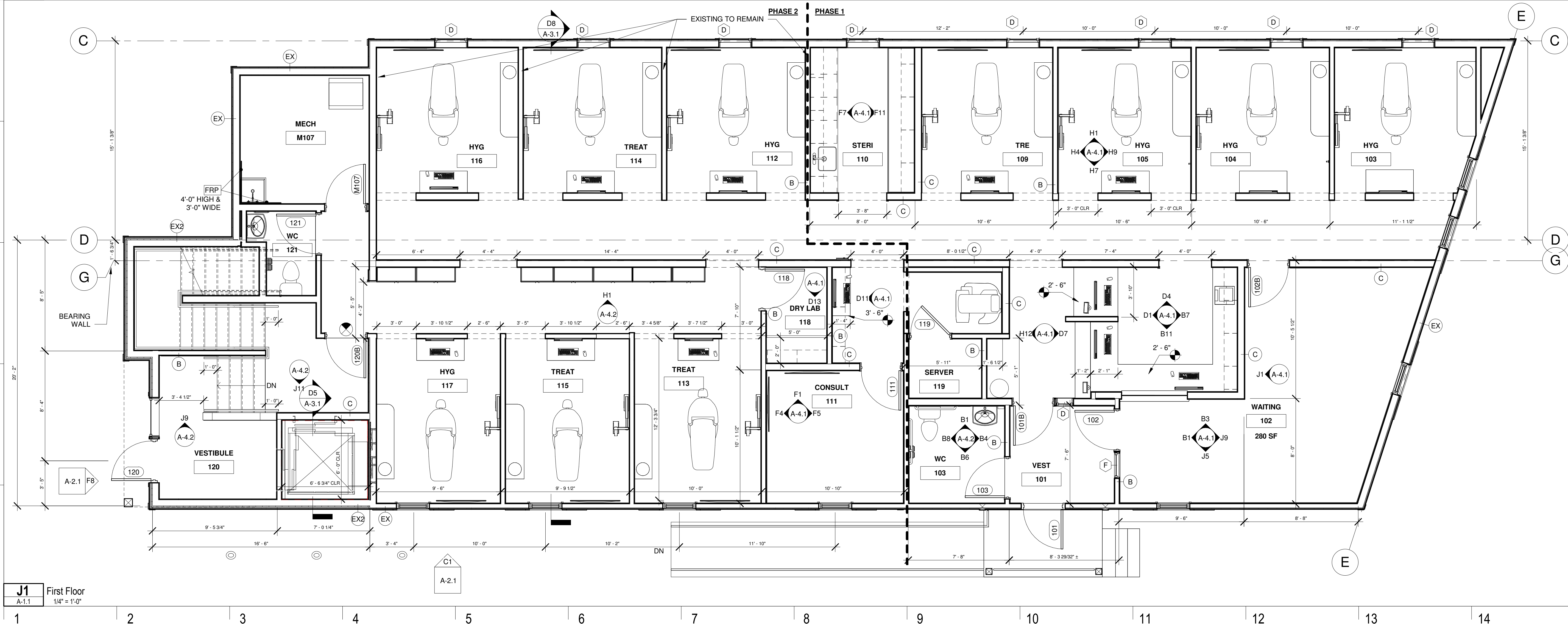
Drawn by TR

Project Status DD

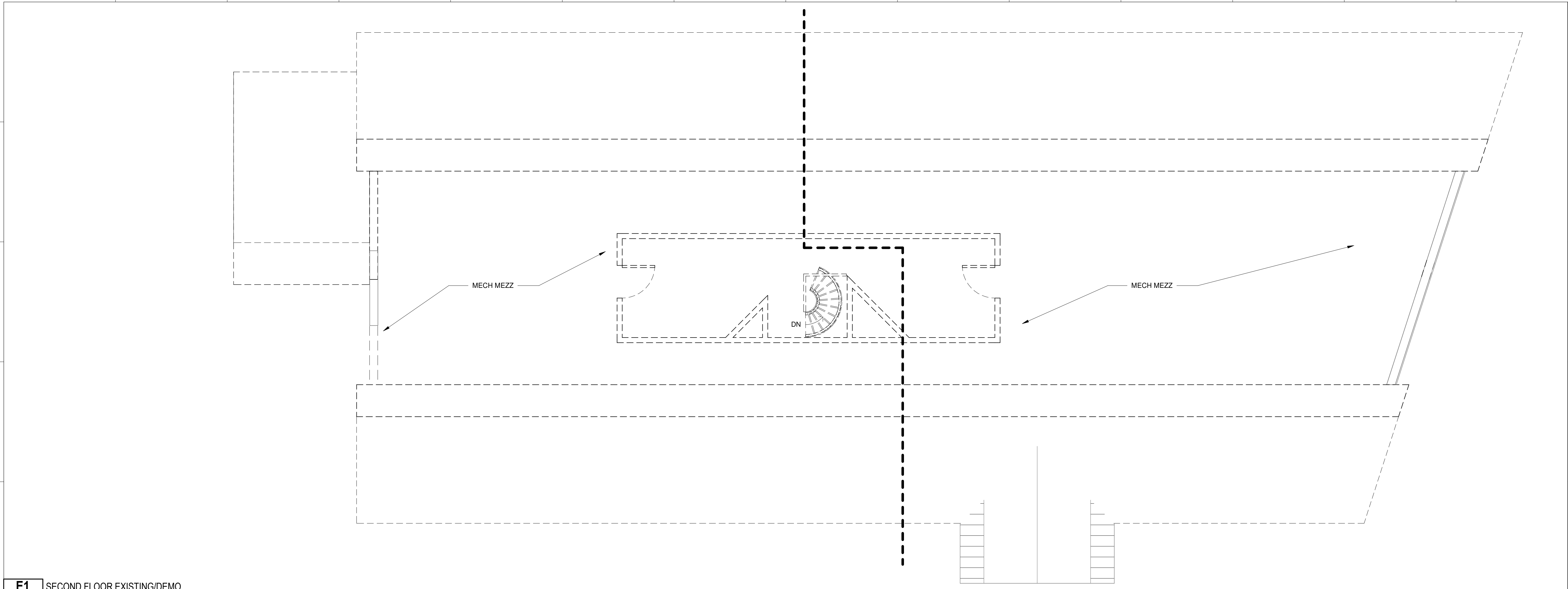
A-1.1

Scale 1/4" = 1'-0"

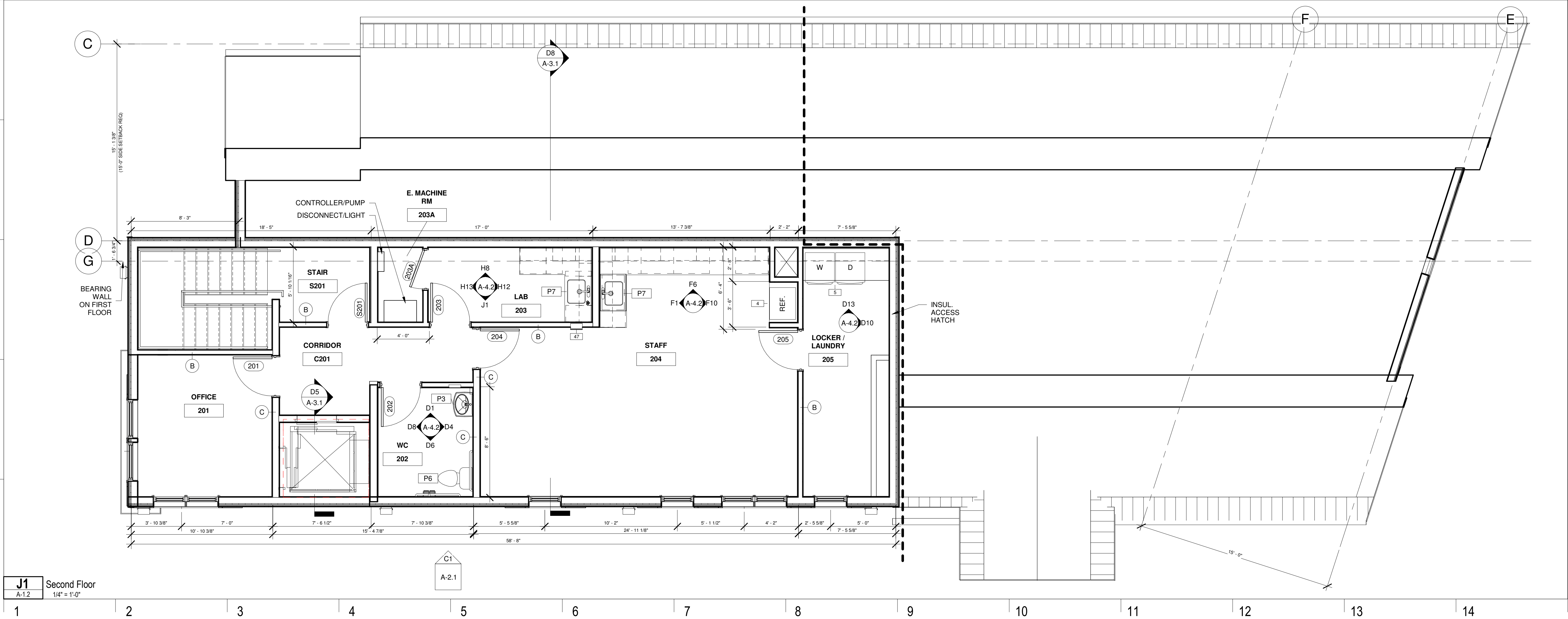
E1
A-1.1 First Floor Existing/Demo
1/4" = 1'-0"



J1
A-1.1 First Floor
1/4" = 1'-0"



E1 SECOND FLOOR EXISTING/DEMO
A-1.2 1/4" = 1'-0"



J1 Second Floor
A-1.2 1/4" = 1'-0"

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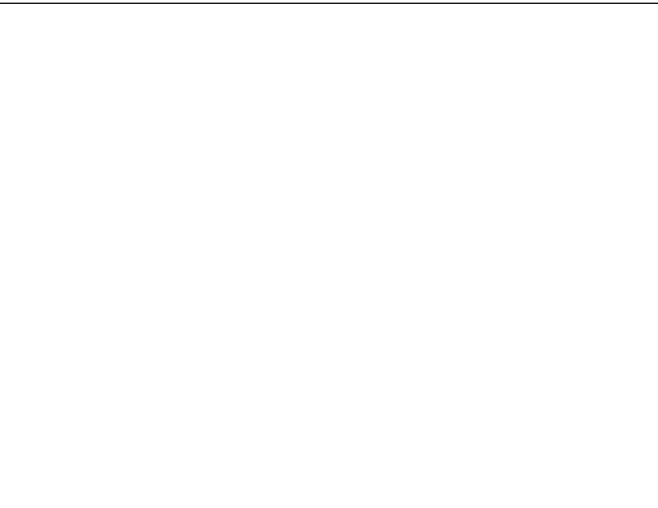
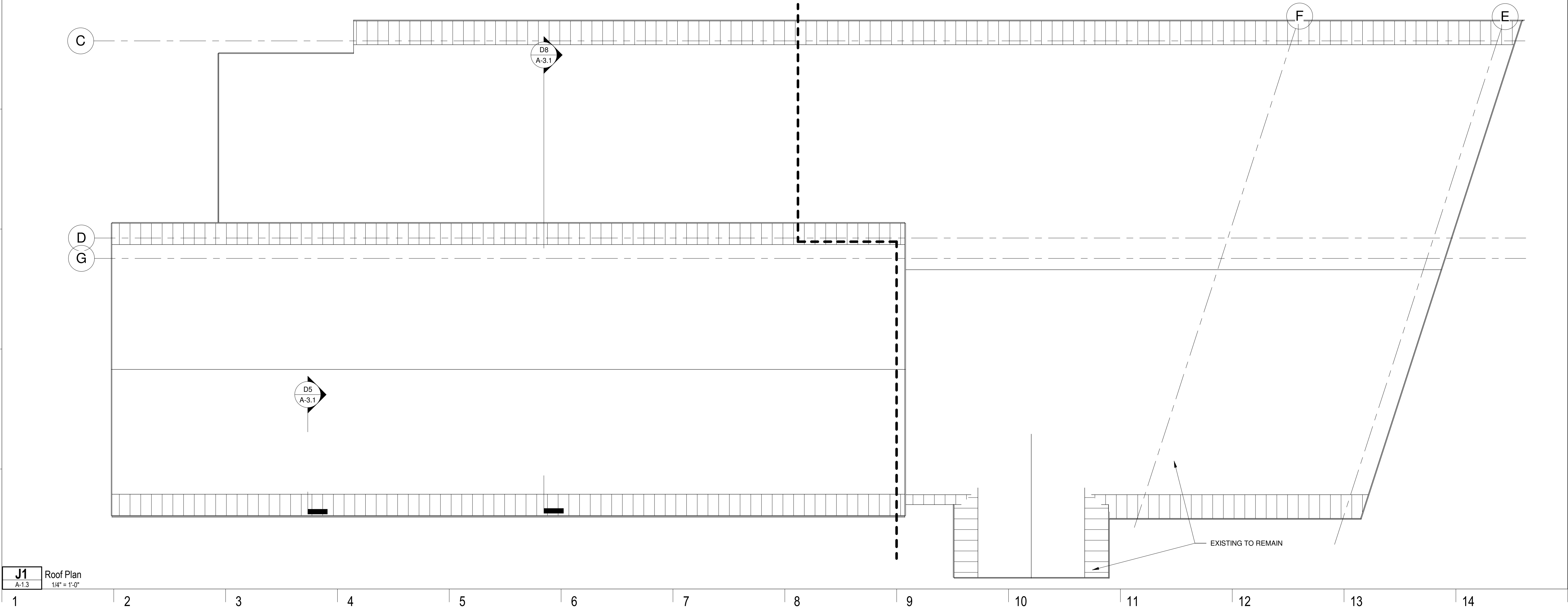
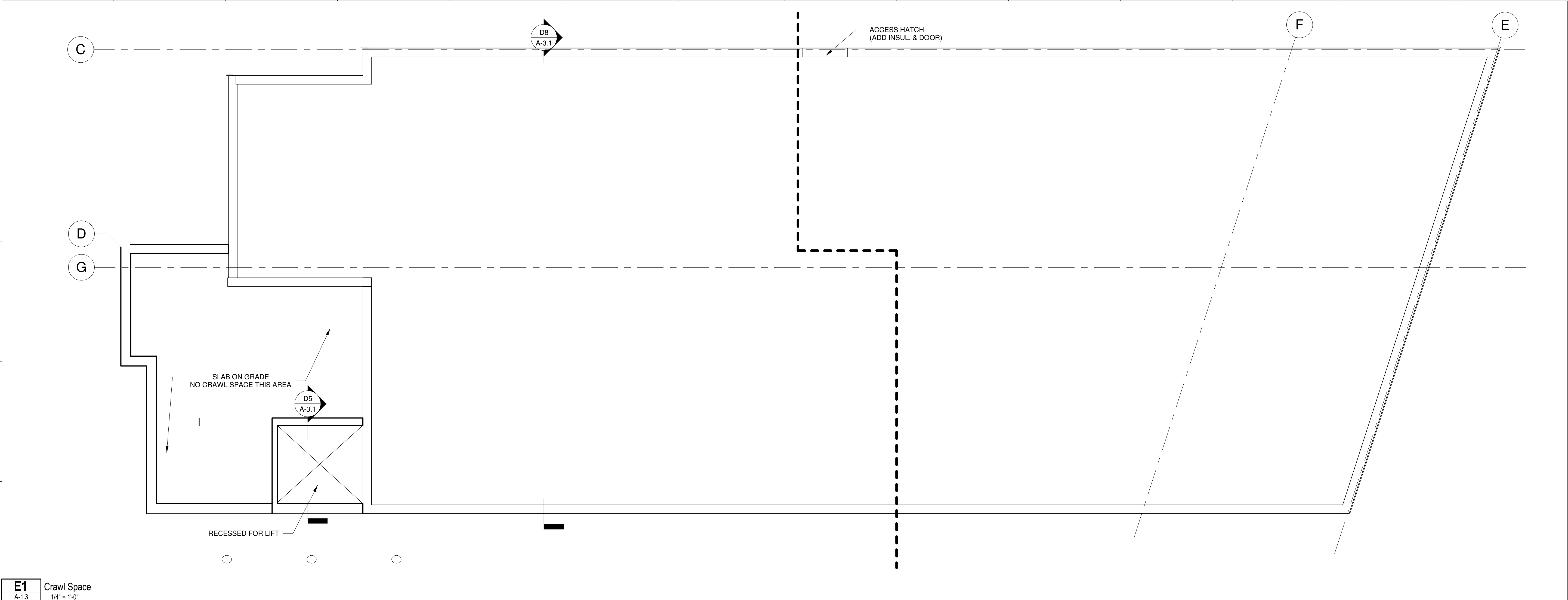
No.	Description	Date

SECOND FLOOR & DEMO PLAN

Project number	22-30_PLEASANT ST DENTAL
Date	12.16.24
Drawn by	Author
Project Status	DD

A-1.2

Scale 1/4" = 1'-0"



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No.	Description	Date

CRAWL SPACE + ROOF

Project number 22-30_PLEASANT ST DENTAL

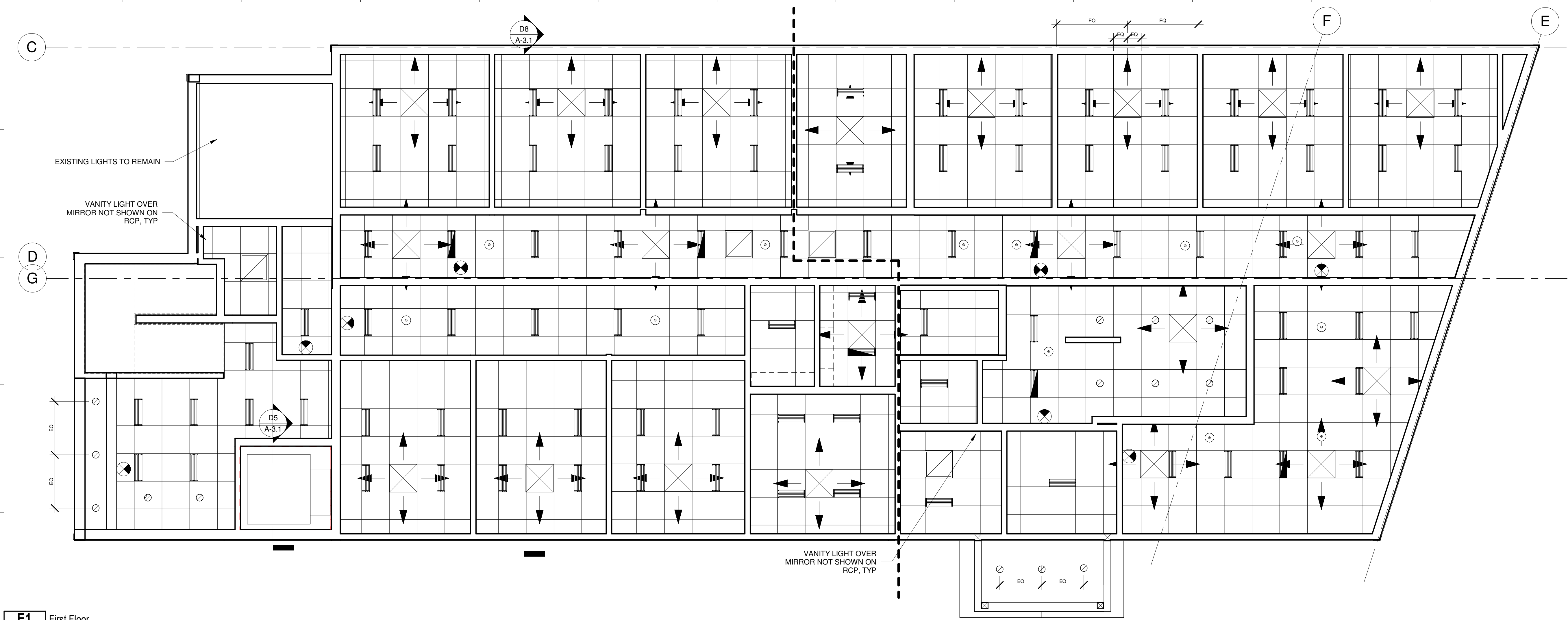
Date 12.16.24

Drawn by Author

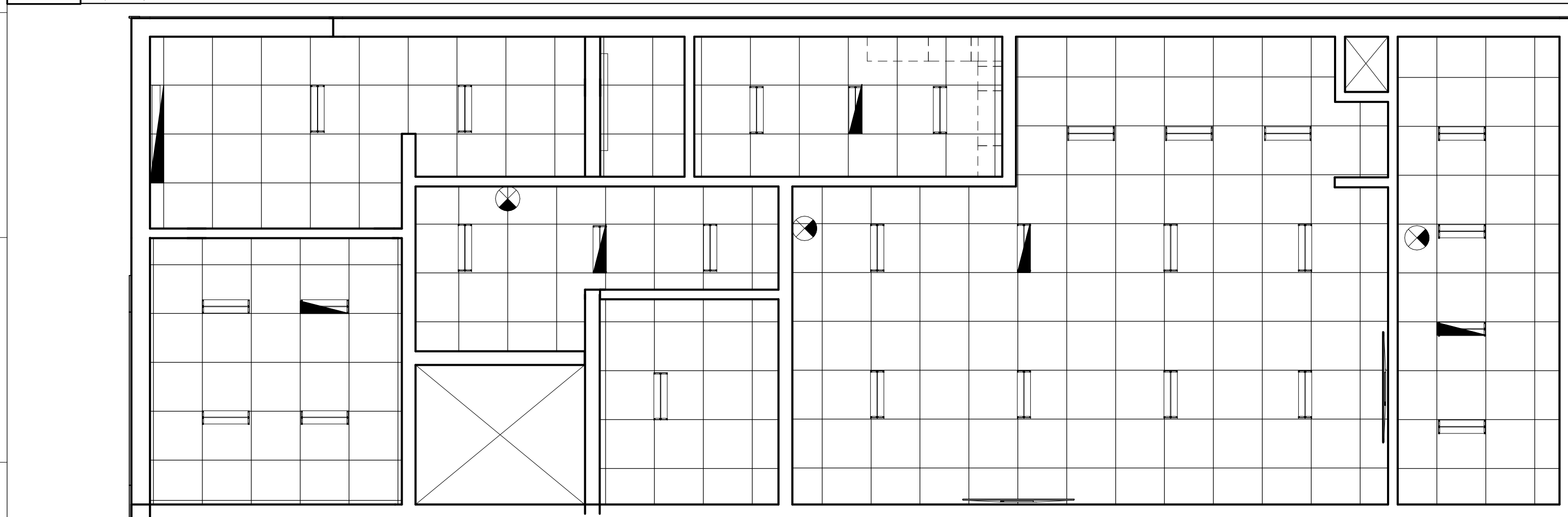
Project Status DD

A-1.3

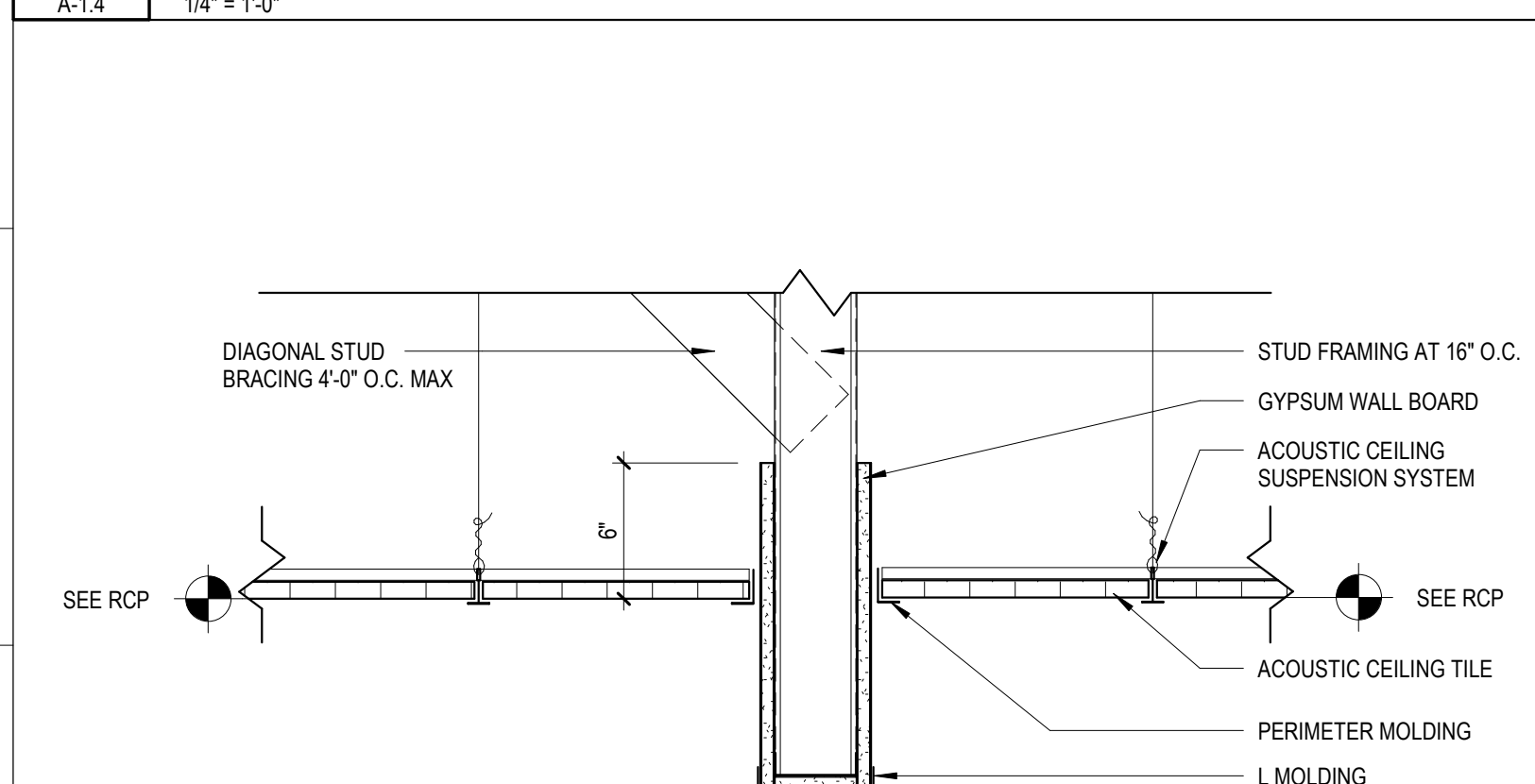
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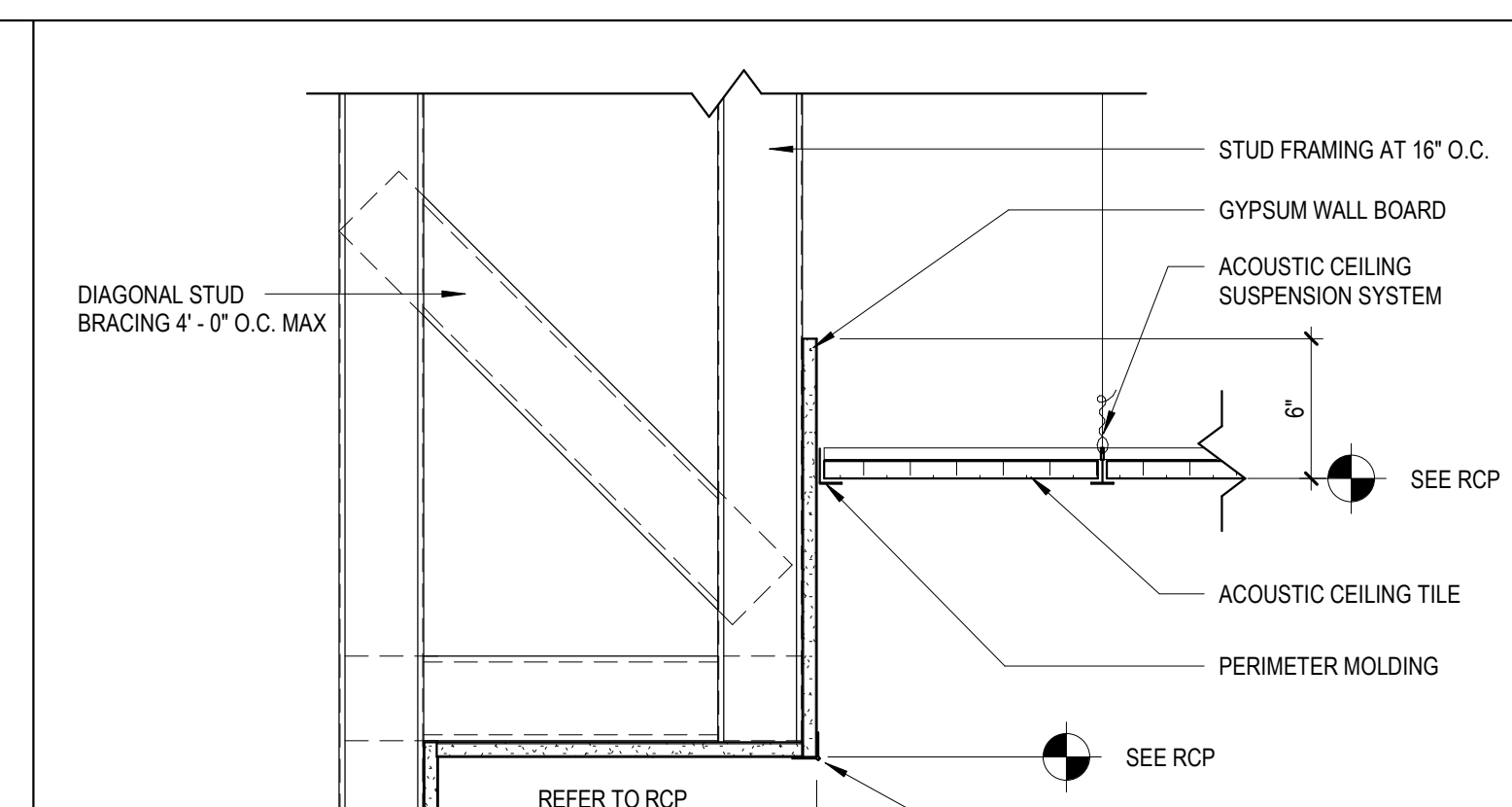
E1 First Floor
A-1.4 1/4" = 1'-0"



H1 Second Floor
A-1.4 1/4" = 1'-0"



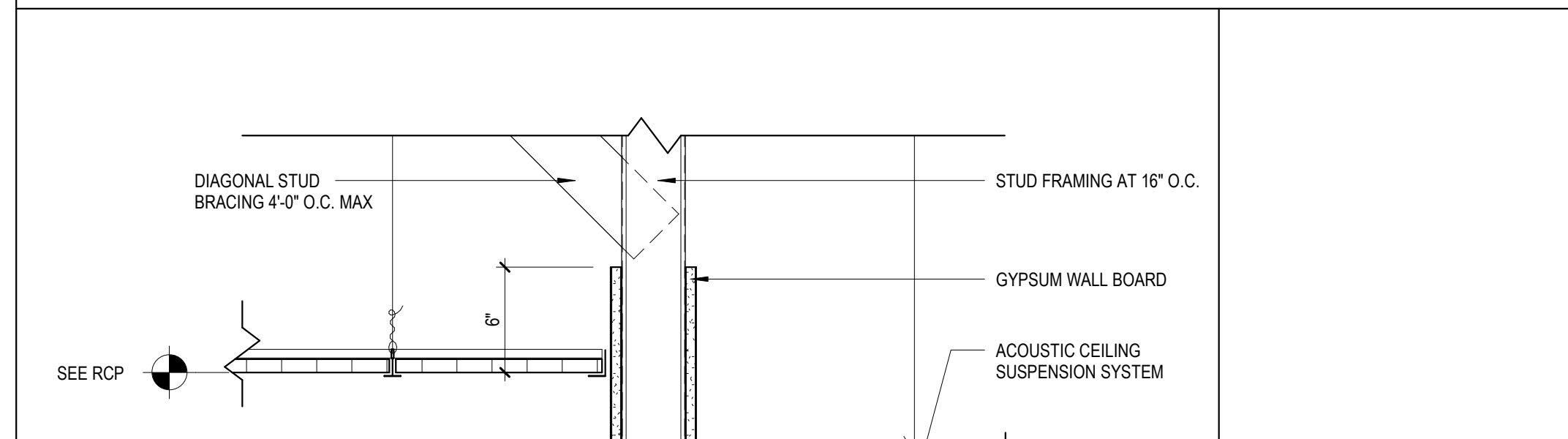
J1 ACT TO ACT SOFFIT
A-1.4 1 1/2" = 1'-0"



J5 WALL TO ACT SOFFIT
A-1.4 1 1/2" = 1'-0"

REFLECTED CEILING PLAN LEGEND			
	WILLIAMS WALL MOUNT 2' ARCH UP/DOWN (AX2WUD) W/BATTERY BACKUP		CEILING SPEAKER (NIC)
	LEDVANO01-CC-24 VANITY (SATIN)		RETURN GRILLE (SEE MECH)
	WILLIAMS VWPV VOLTAIRE ARCH WALL PACK - DARK SKY COMPLIANT - PHOTO CELL		SUPPLY DIFFUSER (SEE MECH)
	CEILING MOUNTED EXIT SIGN (RECESSED - MOUNTED ADJACENT TO WALL) WILLIAMS EXIT RECESSED EDGE-LIT SIGN		
	CEILING MOUNTED EXIT SIGN WILLIAMS EXIT RECESSED EDGE-LIT SIGN		
	WILLIAMS MX2RG 2" x 2'-0" LINEAR RECESSED 5000K IN CLINICAL AREAS, 3500K IN HALLS/NON-CLINICAL		LIGHT SWITCH (SEE ELECT)
	WILLIAMS MX2RG 2" x 2'-0" LINEAR RECESSED 5000K IN CLINICAL AREAS, 3500K IN HALLS/NON-CLINICAL W/EMERGENCY BATTERY		
	WILLIAMS MX2RG 4" COMMERCIAL DOWNLIGHT 4RCD 4" WHITE HOUSING		2' x 2' ACT GRID ARMSTRONG SUPERFINE WHITE GRID (9/16") ULTIMA REGULAR TILE (1912HRC)
	O-CAP BOXA LIGHT - 5000K IN CLINICAL AREAS (LAB, STERIL DRY LAB) 3500K IN NON-CLINICAL AREAS, SEAMLESS MOUNTING CLIP, TYP.		ACOUSTICAL BATT INSULATION ABOVE GRID IN WC, TYP. TO REDUCE SOUND TRANSMITTANCE. 3.5" F-11 CERTAINTED NOISE REDUCER OR APPROVED EQUAL.
	EXISTING EXTERIOR SCONCE - TO REMAIN		THERMOSTAT (SEE MECH)

NOTE: PLACEMENT OF FIXTURES AND COUNTS SHOULD BE REFERENCED FROM ARCHITECTURAL RCP.
ELECTRICAL LIGHTING PLAN IS FOR FIXTURE SPECS/SCHEDULE AND SWITCHING REFERENCE ONLY. SEE MECH FOR HVAC GRILLE LOCATIONS.



J9 ACT TO ACT SOFFIT (SEMI FLUSH)
A-1.4 1 1/2" = 1'-0"

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No.	Description	Date

REFLECTED CEILING PLAN

Project number 22-30_PLEASANT ST DENTAL

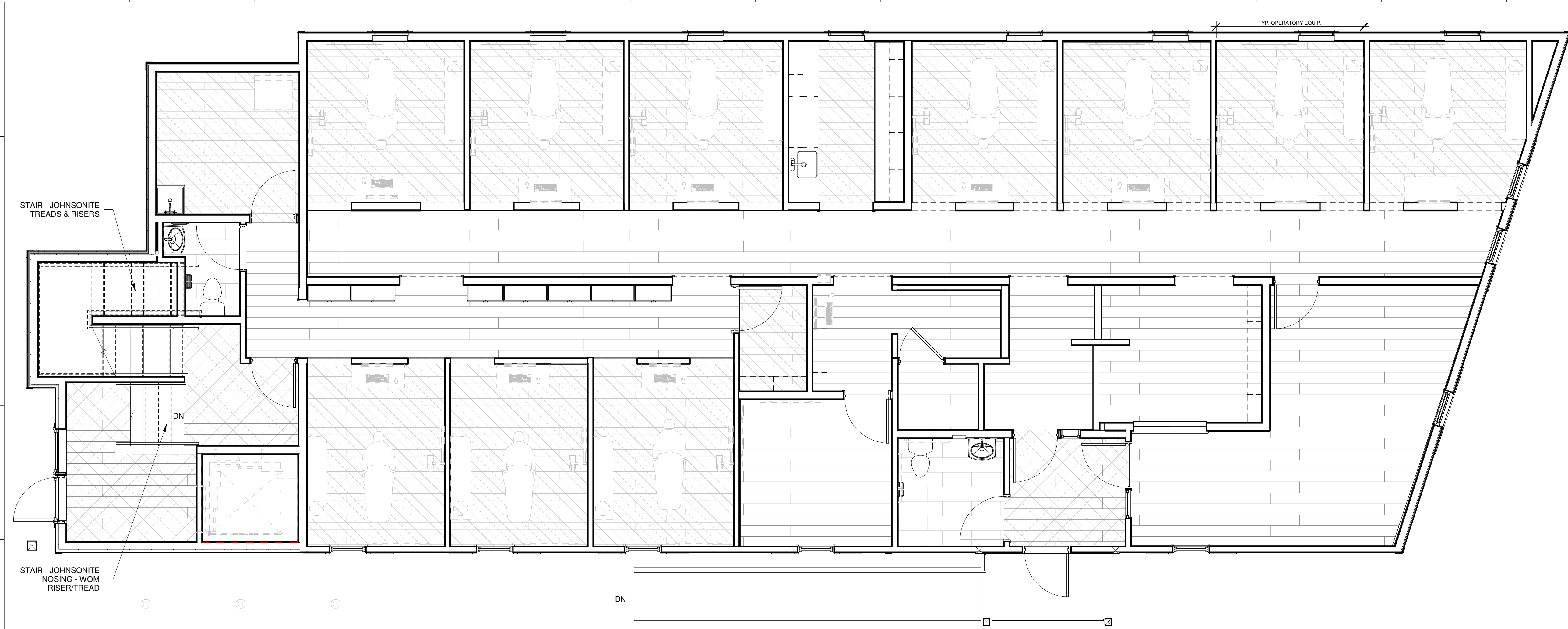
Date 12.16.24

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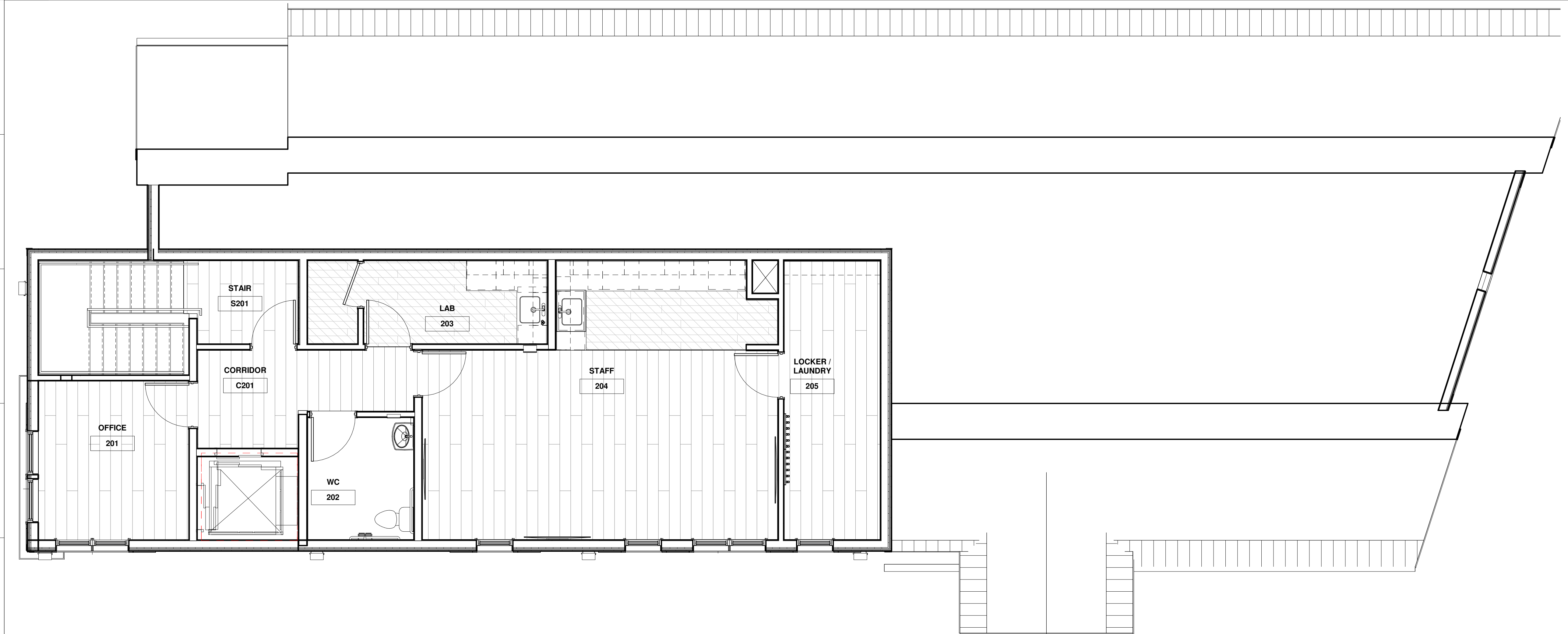
Project Status

A-1.4

Scale As indicated



E1 FIRST FLOOR FLOORING PLAN
A-1.5 1/4" = 1'-0"



J1 SECOND FLOOR FLOORING PLAN
A-1.5 1/4" = 1'-0"

- FLOORING NOTES:**
1. ALL FLOORING SHALL EXTEND BENEATH CASEWORK, MILLWORK, AND PLUMBING FIXTURES U.N.O.
 2. FLOORING TYPES ARE OWNED BY HATCH PATTERNS ON ID PLANS.
 3. HATCH PATTERNS FOR LVT-1 & TP-1 DENOTE DIRECTION OF FLOORING
 4. SEE **FLOORING TRANSITIONS & TILE ACCESSORIES** AS NEEDED.

- FLOORING LEGEND**
- LVT**
SHAW CONTRACT
STYLE: SOLITUDE(0648V)
COLOR: COCOA (48103)
INSTALL: BRICK
THICKNESS: 5MM
- CPT-1**
INTERFACE ZEN STITCH
COLOR: ASH
INSTALL: HERRINGBONE
- WOM**
INTERFACE
STEP REPEAT
COLOR: TBD
INSTALL: QUARTER TURN
- TP-1**
ITEM: TILE PORCELAIN
MANUF: CROSSVILLE
PRODUCT: MOONSTRUCK
SIZE: 12" x 24"
COLOR: TBD, UNP
INSTALL: BRICK
GROUT: MAPEI TBD
ACCESSORIES: COVE BASE

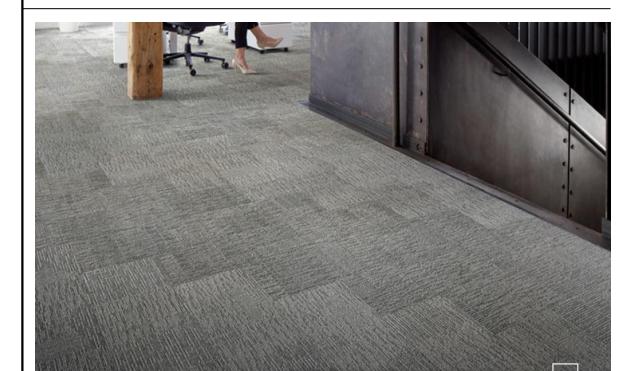
STAIR
ITEM: STAIR TREAD/RISERS
MANUF: JOHNSONITE
PRODUCT: VINYL TREADS & RISER
COLOR: TBD
PROFILE: FASTLANE

ENTRY STAIR ONLY
ITEM: JOHNSONITE STAIR NOSING
PROFILE: TO ACCOMMODATE WOM
COLOR: TBD

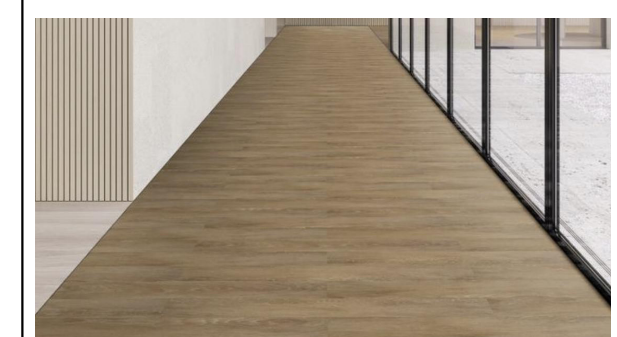
FLOORING ACCESSORIES
-NO FLOORING TRANSITIONS BTW LVT & CPT
-PROVIDE SCHLUTER SATIN ANODIZED TRANSITIONS AS REQ. & TILE TO WOM OR CPT TRANSITIONS AS APPROP.

WALL BASE - WB
-EXTENT: ALL ROOMS W/LVT OR CPT
-MANUFACT: TARKETT
-PRODUCT: 4" TRADITIONAL WALL BASE W/TOE)
-COLOR: TBD

TILE BASE: WB-2
-EXTENT: ALL WALLS IN LOCATIONS W/TILE FLOORING (WC, ETC)
-ITEM: TILE PORCELAIN
-MANUFACTURER: CROSSVILLE
-PRODUCT: MOONSTRUCK
-SIZE: 4"
-GROUT: TO MATCH FLOOR TILE
-TILE COLOR: TO MATCH FLOOR TILE



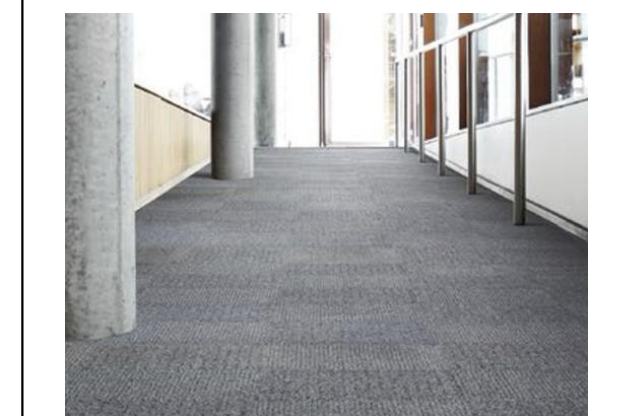
ZEN STITCH ASH - HERRINGBONE INSTALL



SOLITUDE COCOA - BRICK INSTALL



CROSSVILLE - MOONSTRUCK (APOLLO)



STEP REPEAT - GRANITE - QUARTER TURN

A

B

C

D

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F

G

No.	Description	Date

H

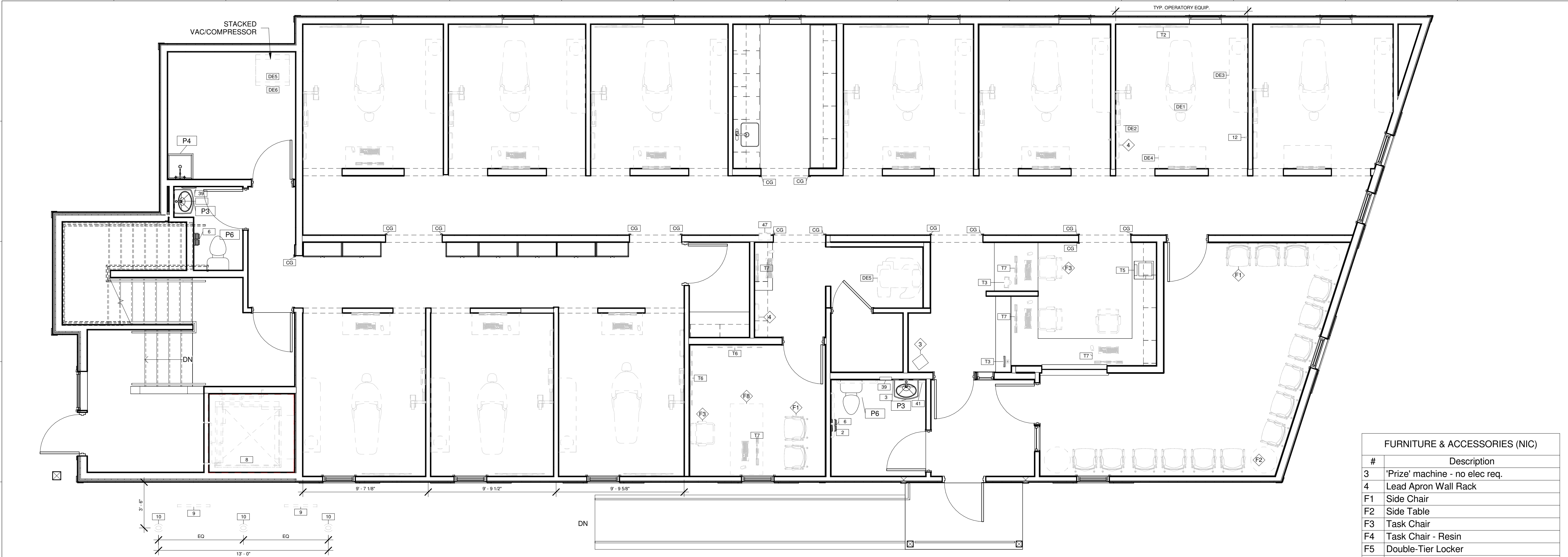
FLOOR PATTERN & LEGEND

Project number	22-30_PLEASANT ST DENTAL
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Drawn by	Author
Project Status	DD

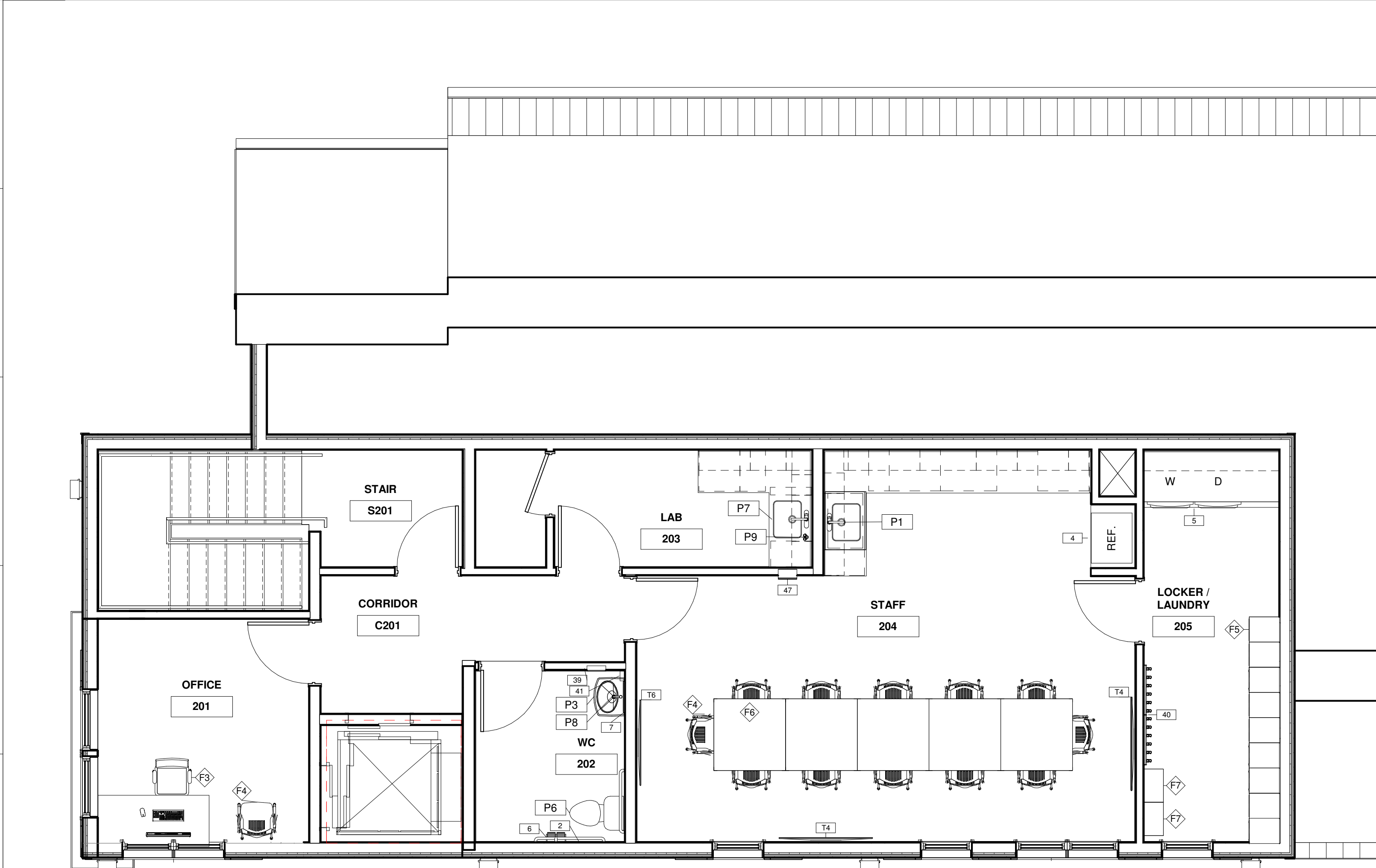
A-1.5

Scale	1/4" = 1'-0"
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J



E1 First Floor Equipment & Furnishings Plan
A-1.6 1/4" = 1'-0"



J1 Second Floor FFE
A-1.6 1/4" = 1'-0"

EQUIPMENT SCHEDULE			
#	Description	Comments	CFCI / OFCI / OFOI
2	Grab Bars		CFCI
3	Mirror	Bobrick Mirror - B-290 Series	OFCI
4	Counter-Depth Refrigerator (32" wide)	No water line	OFOI
5	Electric Washer/Dryer Vented	Vented to Exterior	OFOI
6	Bobkrick B-6997 Recessed Dual Roll TP Dispenser		OFCI
7	Mirror w/Frame	Bobrick Mirror - B-290 Series	CFCI
8	Electric LULA MRL - Limited Use / Limited Application Elevator	Hydraulic LULA	CFCI
9	Downtown Rack		CFCI
10	Bollard / Oval (OVB), 6 Watts		CFCI
12	Robe Hook		NIC
39	Recessed Paper Towel Holder (Bobrick B-35903)		CFCI
40	Hook Strip		NIC
41	Soap Dispenser - GP Pro enMotion Gen2		CFCI
47	Semi-Recessed Fire Extinguisher Cabinet		CFCI
DE1	A-dec 550 Dental Chair	See Dental Equip DWGs - Install by DE provider	NIC
DE2	X-Ray Unit	See Dental Equip DWGs - Install by DE provider	NIC
DE3	Dental Side Cabinet w/Sink	See Dental Equip DWGs - Install by DE provider	NIC
DE5	Cone beam	Existing to remain	NIC
DE6	Dental Vac	See Dental Equip DWGs - Install by DE provider	NIC
T2	Wall-Mounted TV 50"	Contractor to install owner-purchased wall-mount	OFCI
T3	POS		NIC
T4	Wall-Mounted TV - 60"	Contractor to install owner-purchased wall-mount	OFCI
T5	Printer		NIC
T6	Wall-Mounted TV -55"	Contractor to install owner-purchased wall-mount	OFCI
T7	Computer		NIC

FURNITURE & ACCESSORIES (NIC)	
#	Description
3	'Prize' machine - no elec req.
4	Lead Apron Wall Rack
F1	Side Chair
F2	Side Table
F3	Task Chair
F4	Task Chair - Resin
F5	Double-Tier Locker
F6	Table
F7	Shoe Bench
F8	Seven Desk - Rectangular

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TAYLOR PETERSON
HENRY SCHEIN
603-320-6333

No.	Description	Date

FURNITURE & EQUIPMENT PLAN

Project number	22-30_PLEASANT ST DENTAL
Date	12.16.24
Drawn by	TR
Project Status	DD

A-1.6

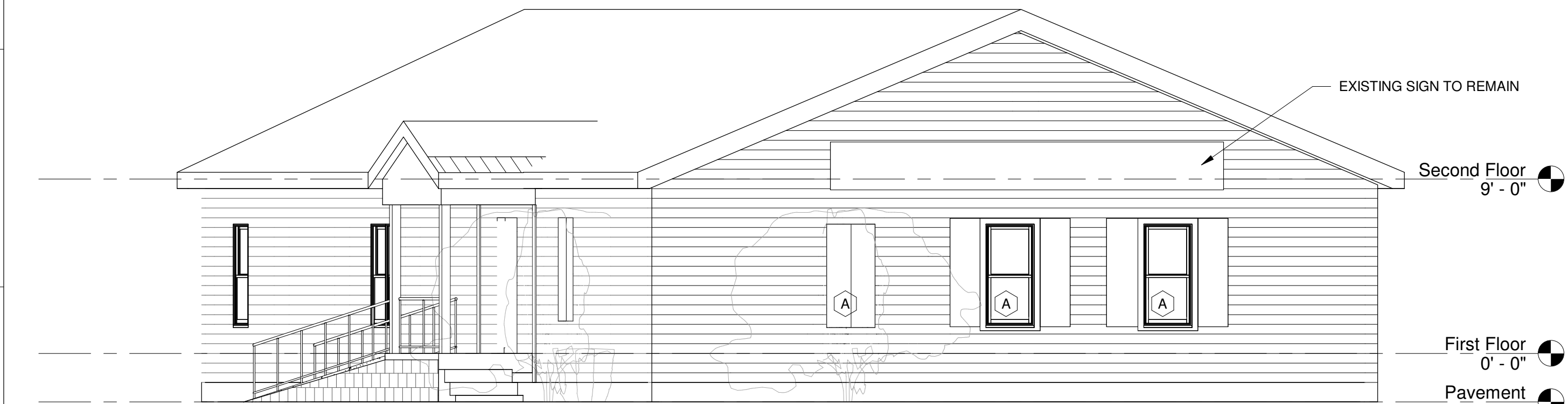
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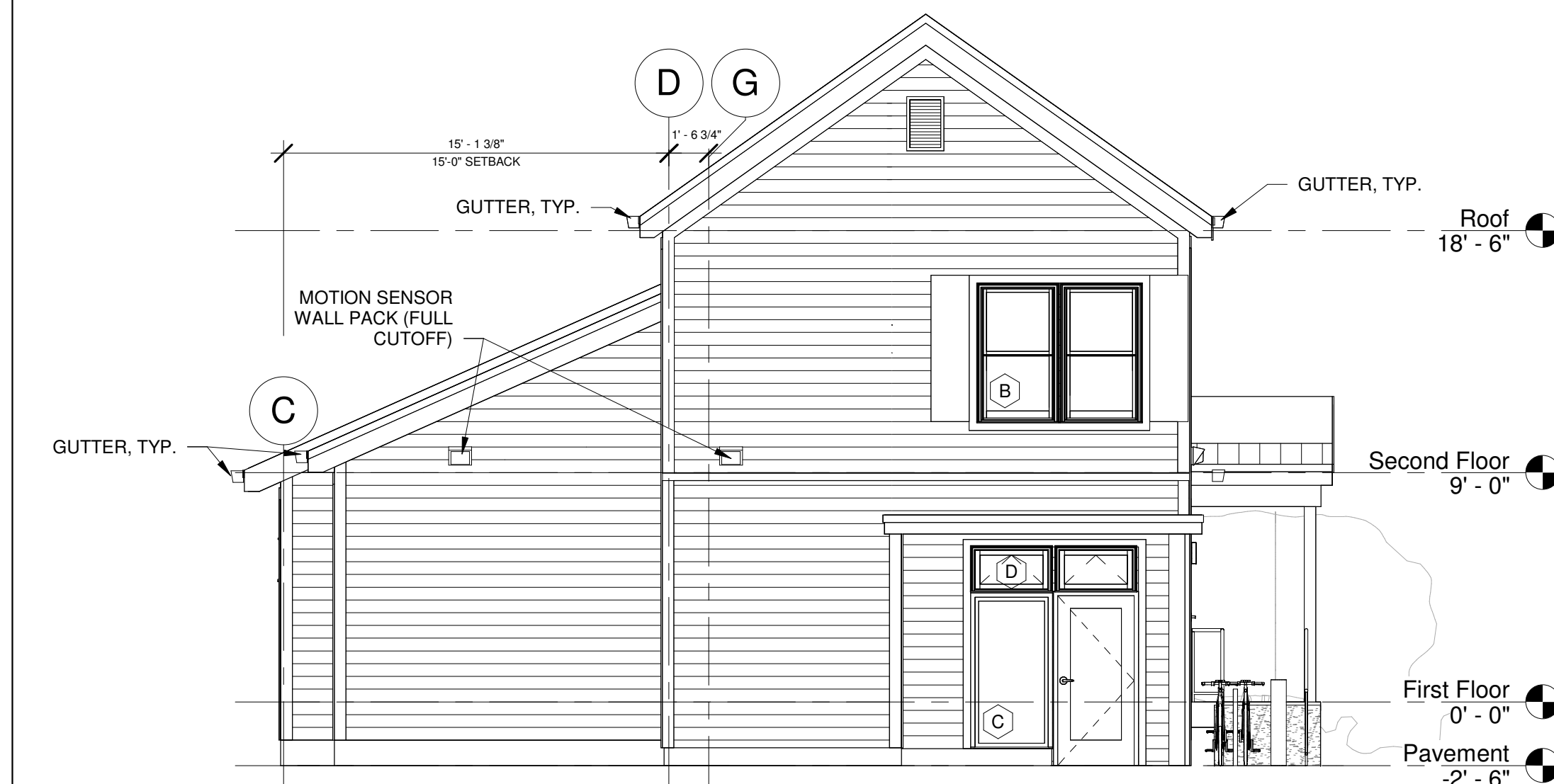
C1 PARKING LOT ELEVATION
A-2.1 3/16" = 1'-0"



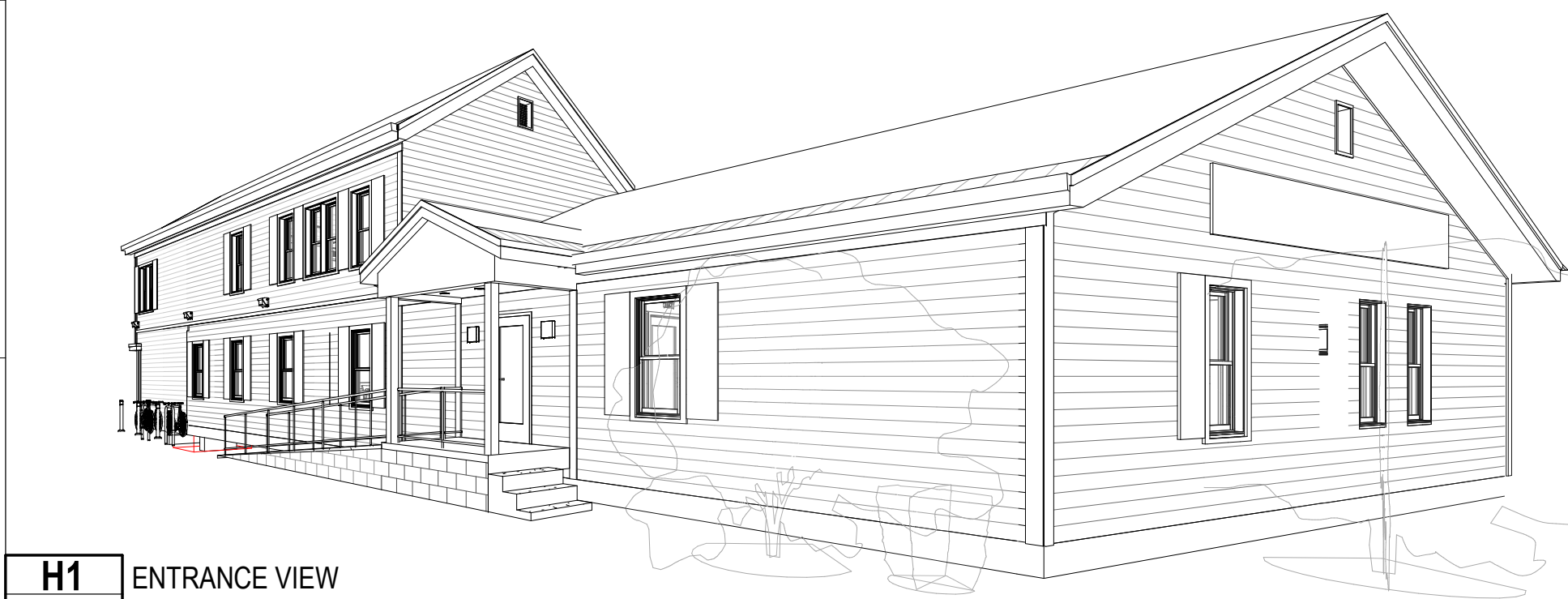
C12 NEW ENTRANCE PERSPECTIVE
A-2.1



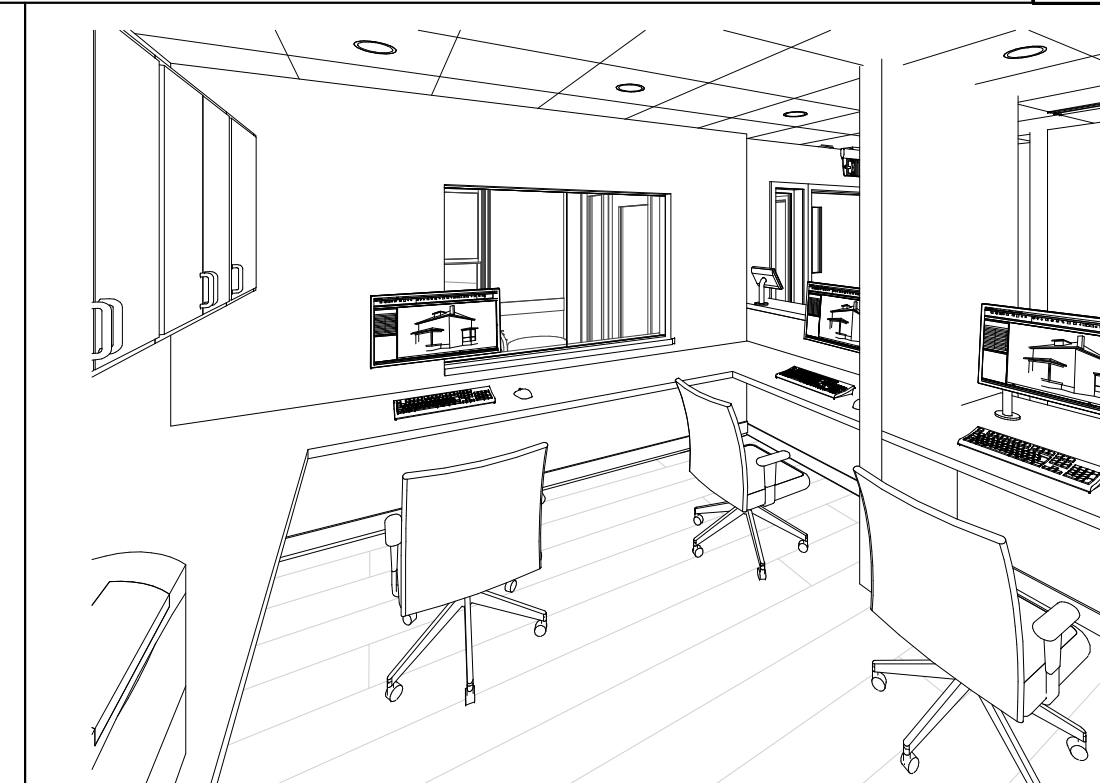
F1 EXISTING PLEASANT STREET ELEV.
A-2.1 3/16" = 1'-0"



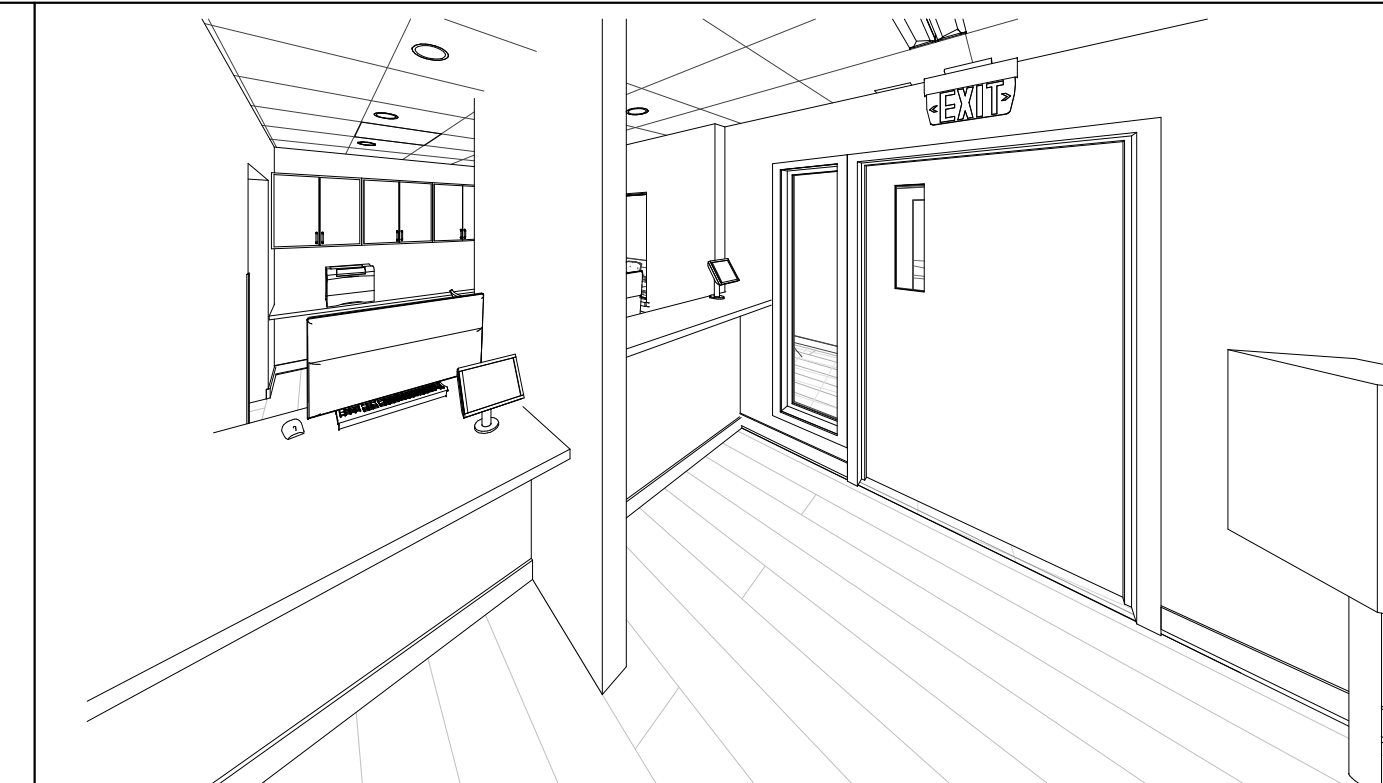
F8 REAR ADDITION ELEVATION
A-2.1 3/16" = 1'-0"



H1 ENTRANCE VIEW
A-2.1



H6 RECEPTION
A-2.1



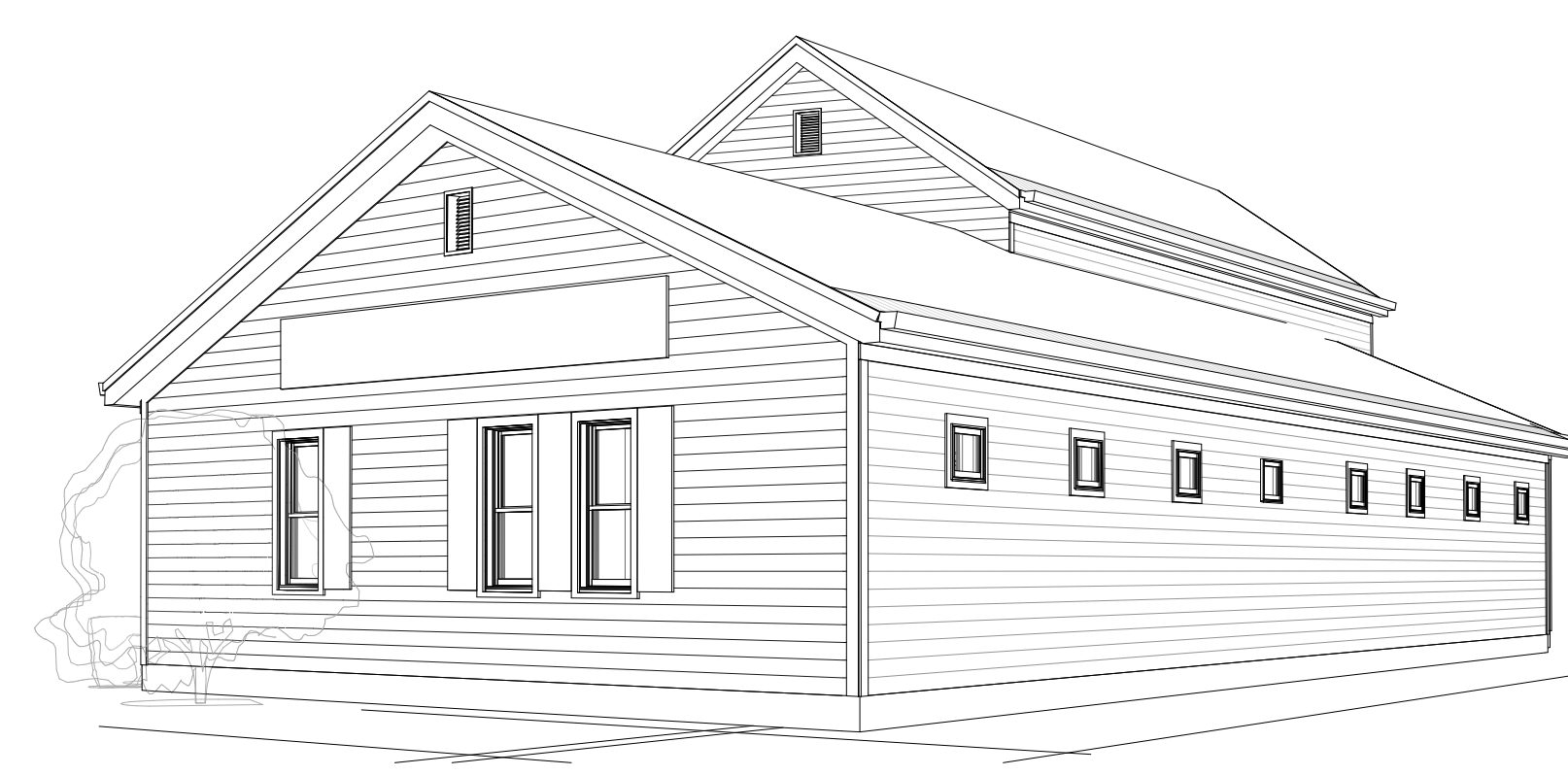
H9 CHECKOUT
A-2.1



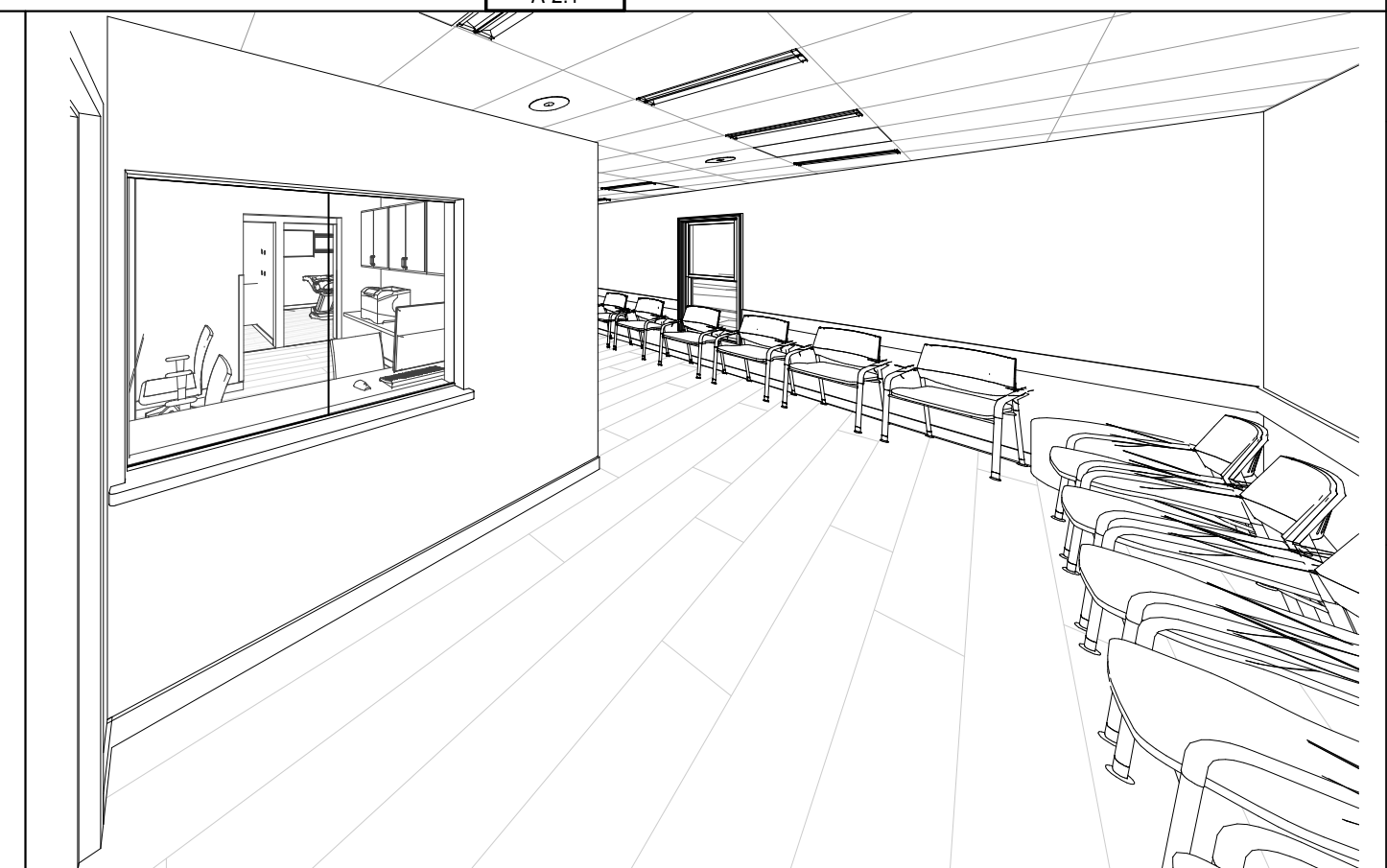
H12 HALL W/OPPERATORIES
A-2.1



J1 PARKING LOT PERSPECTIVE
A-2.1



J7 PLEASANT STREET VIEW
A-2.1



J11 WAITING ROOM
A-2.1

Pleasant Street Dental Associates

SITE
53 Pleasant Street
Brunswick, ME 04011

CLIENT

Dr. James Moshier
53 Pleasant Street
Brunswick, ME 04011
207-725-2062



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No.	Description	Date

ELEVATIONS & PERSPECTIVES

Project number 22-30_PLEASANT ST DENTAL

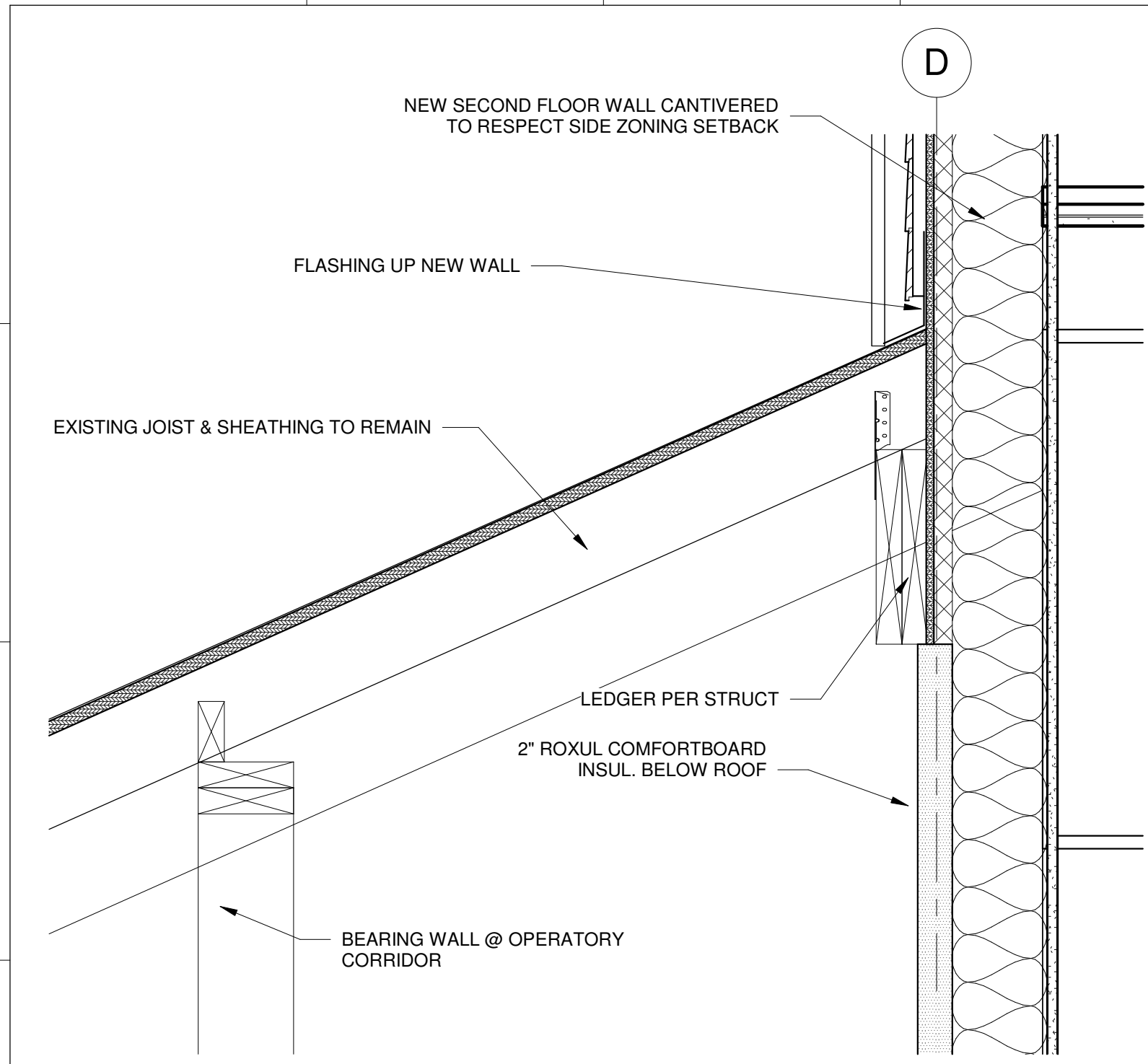
Date 12.16.24

Drawn by TR

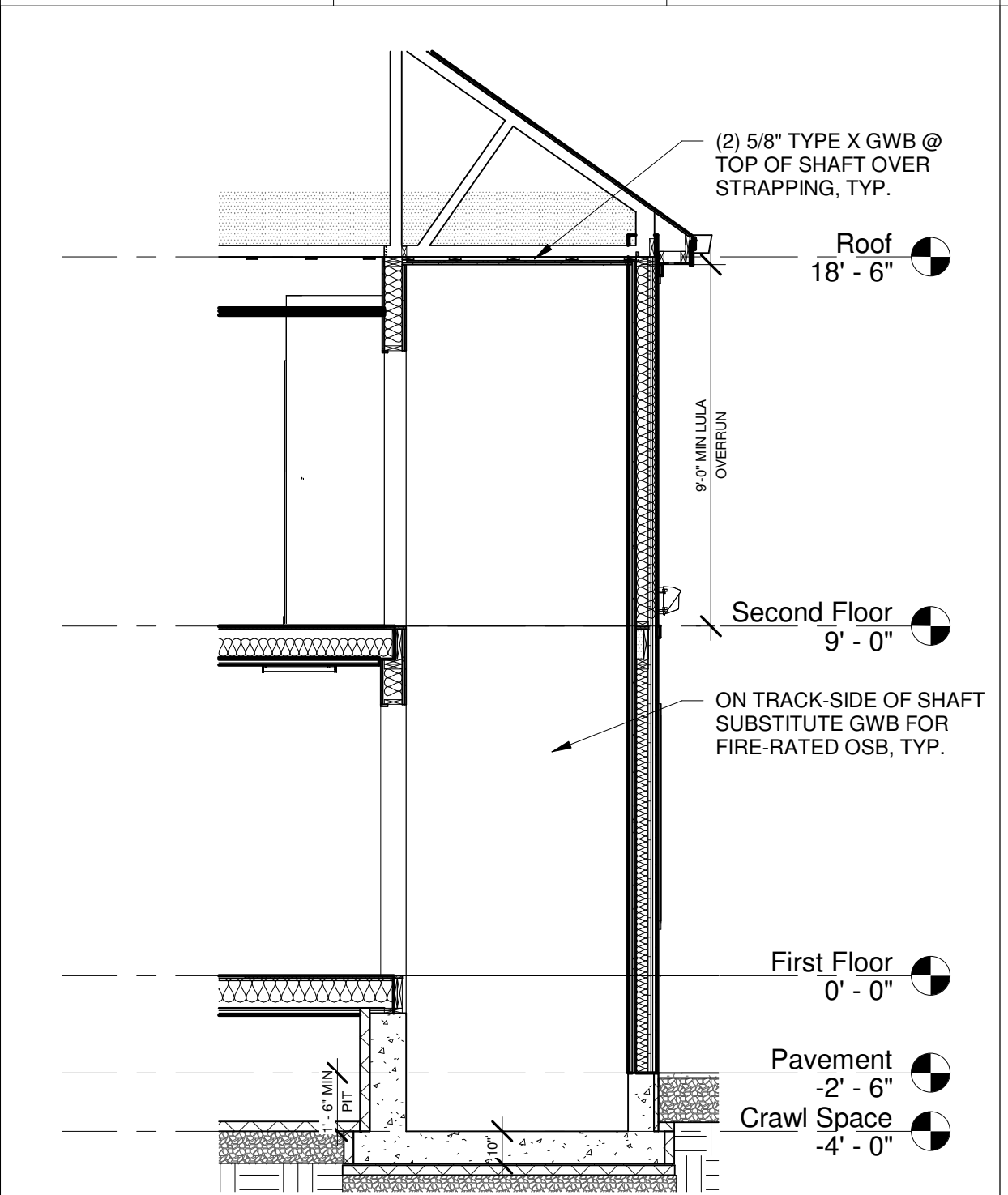
Project Status DD

A-2.1

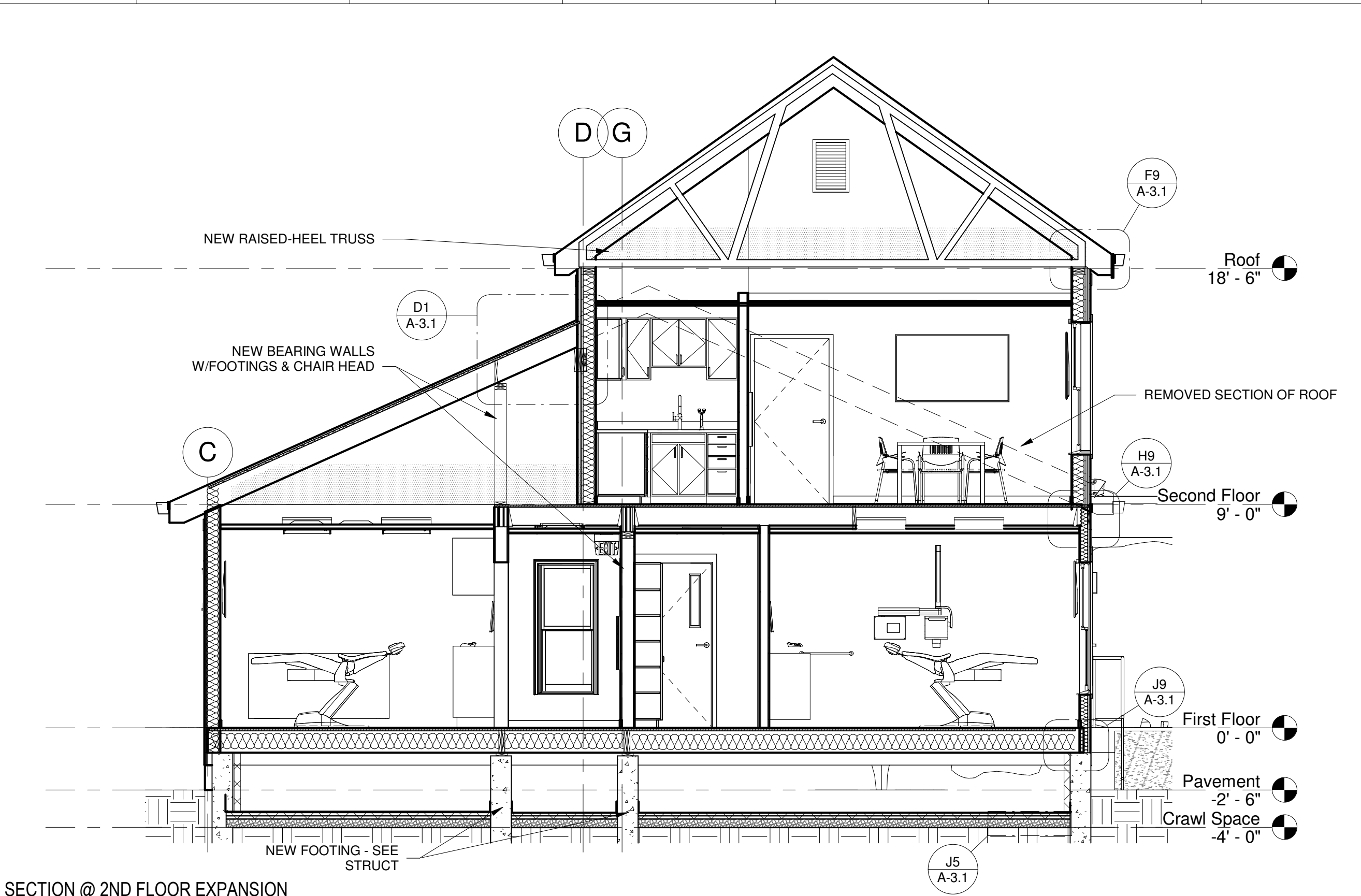
Scale 3/16" = 1'-0"



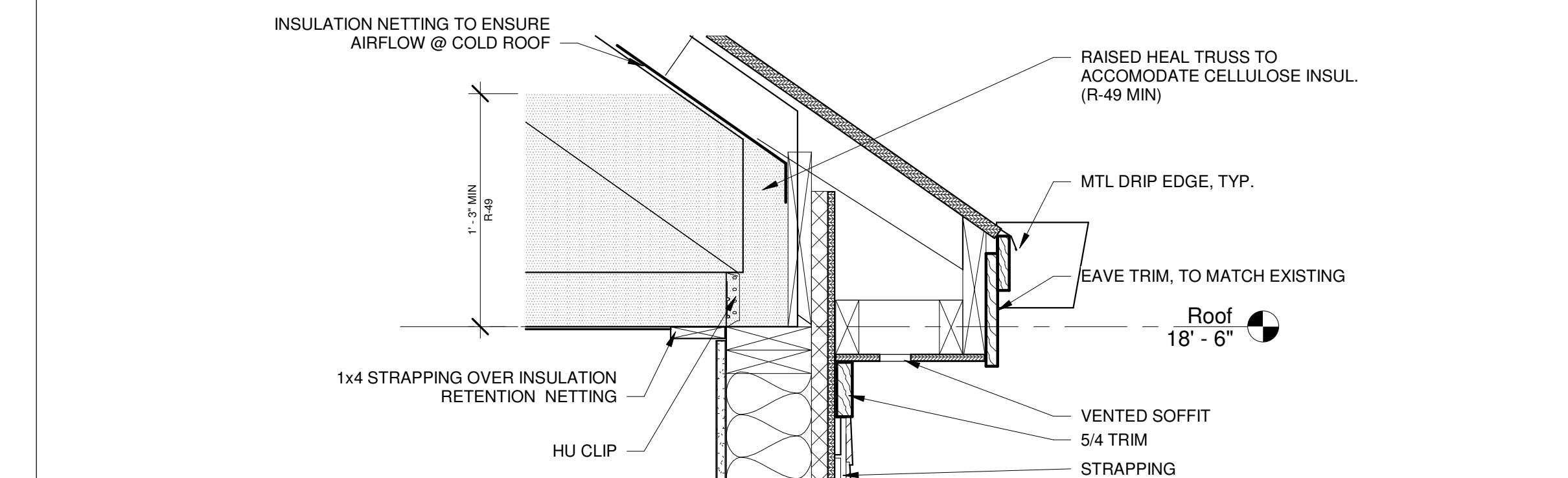
D1
A-3.1
INTERSECTION @ SECOND FLOOR
1 1/2" = 1'-0"



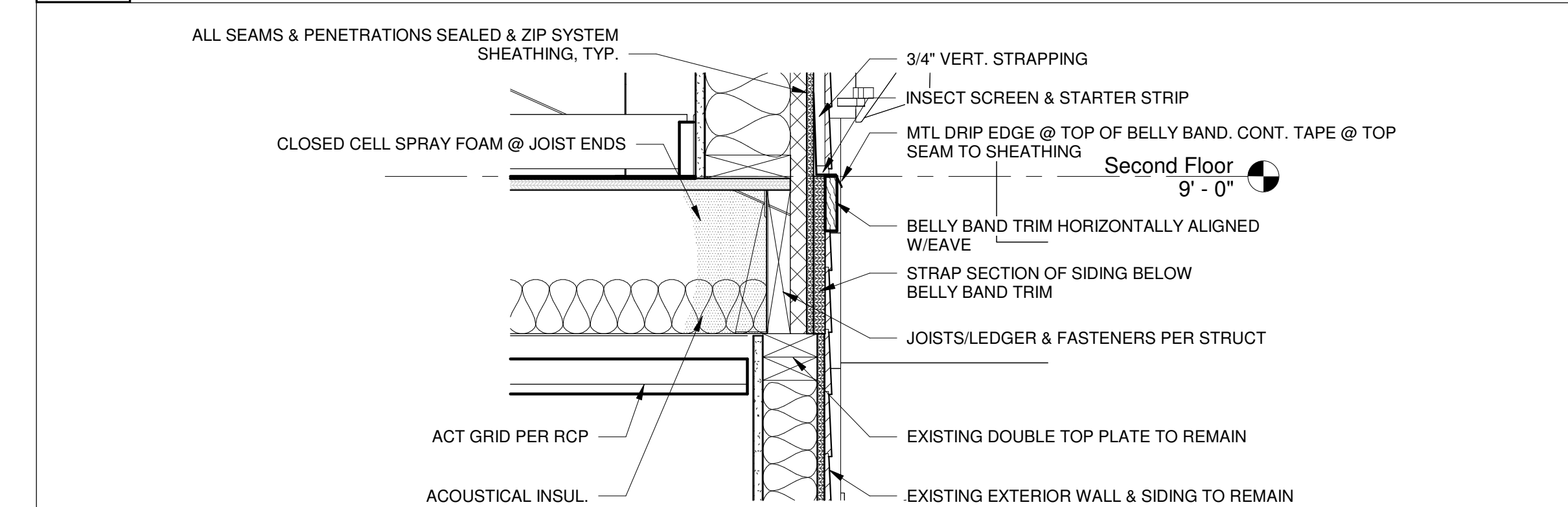
D5
A-3.1
LULA
1/4" = 1'-0"



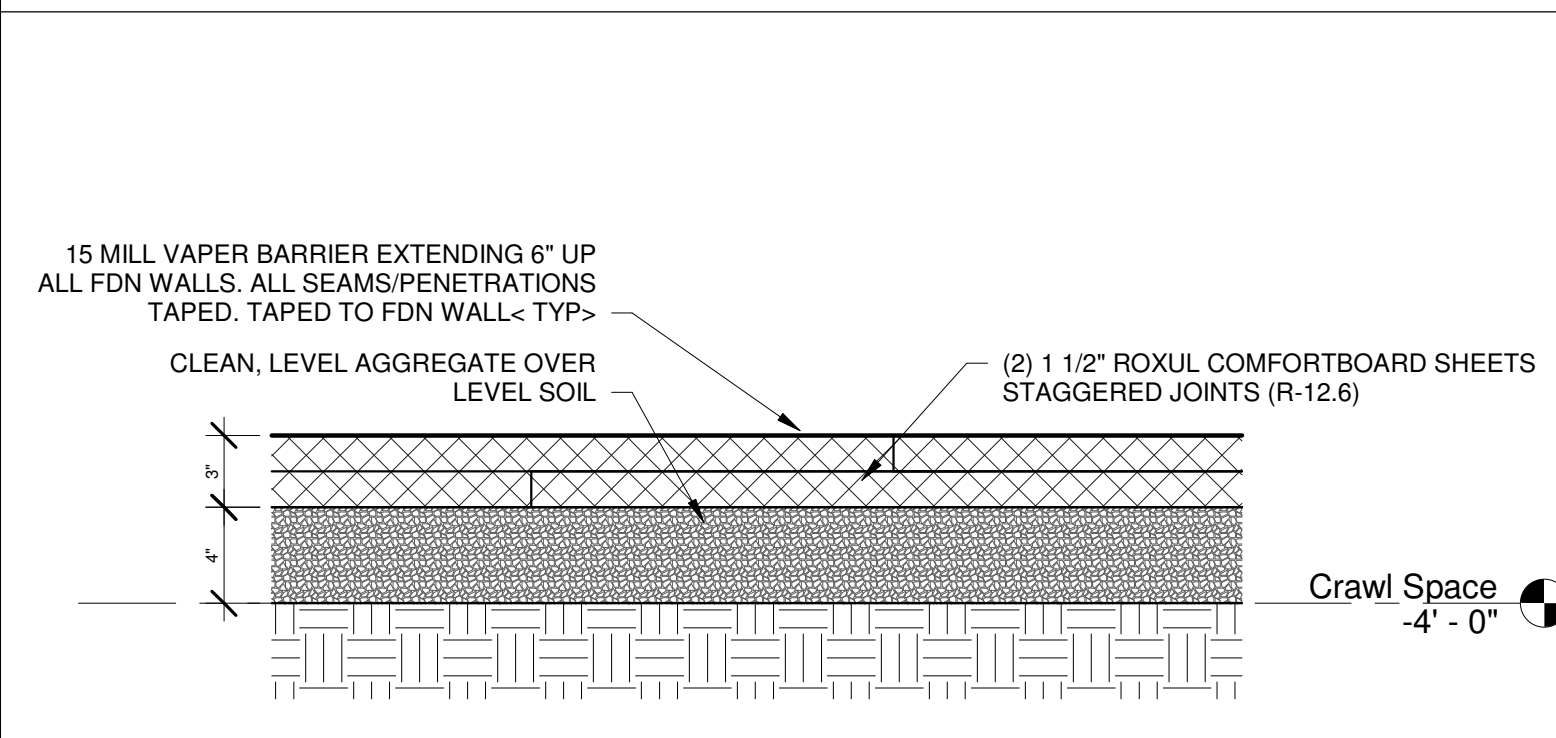
D8
A-3.1
SECTION @ 2ND FLOOR EXPANSION
1/4" = 1'-0"



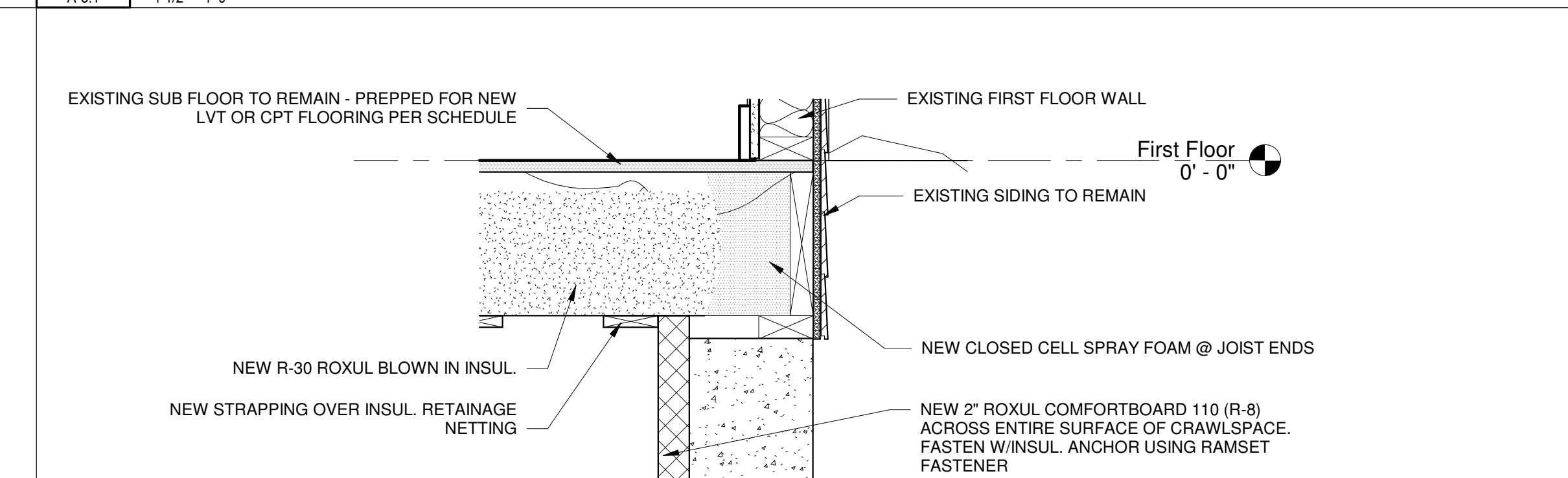
F9
A-3.1
TOP PLATE & EAVE
1 1/2" = 1'-0"



H9
A-3.1
SECOND FLOOR LEDGER
1 1/2" = 1'-0"



J5
A-3.1
EXISTING CRAWL SPACE - RETROFIT
1 1/2" = 1'-0"



J9
A-3.1
NEW FDN INSUL
1 1/2" = 1'-0"

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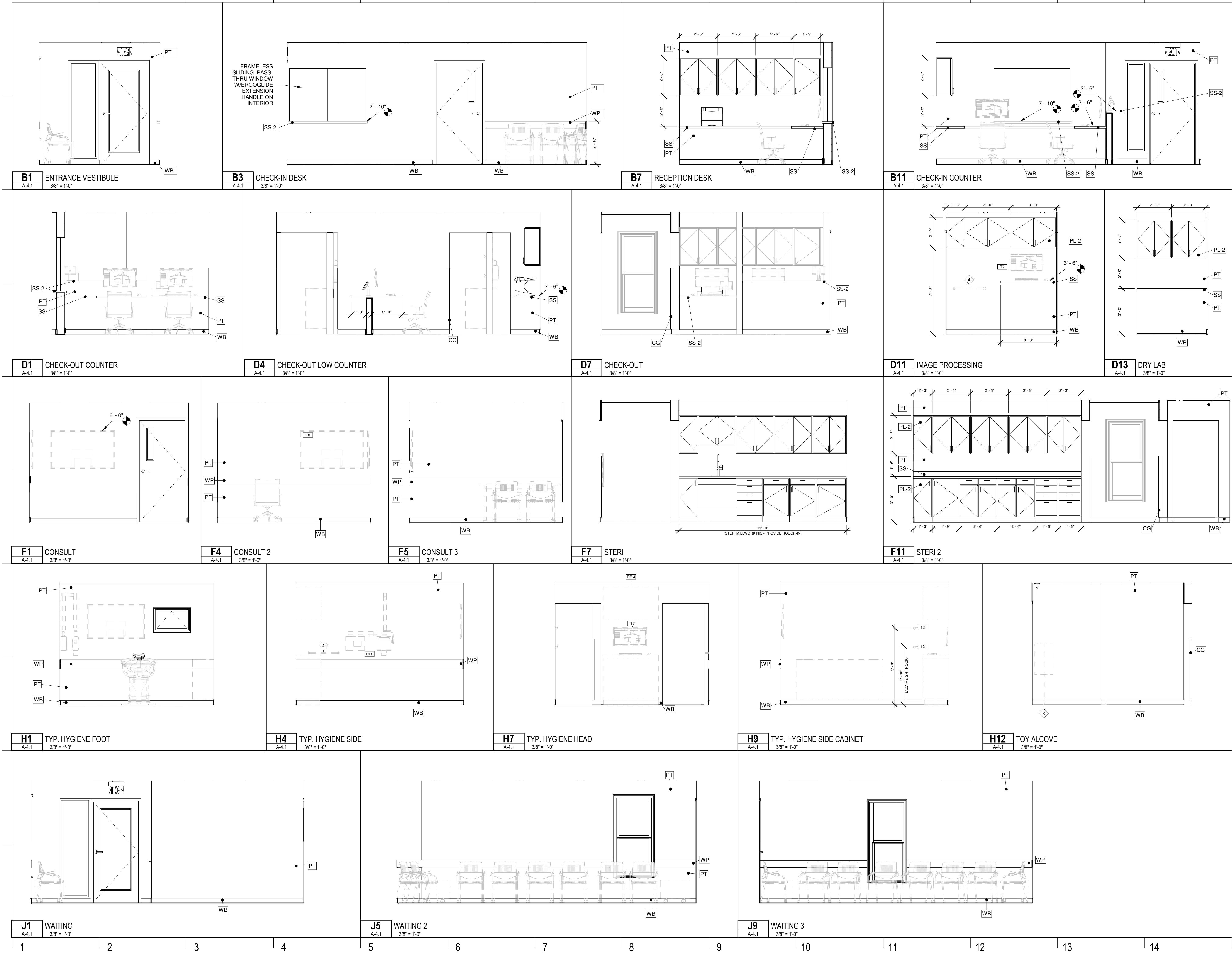
No.	Description	Date

SECTION

Project number	22-30_PLEASANT ST DENTAL
Date	12.16.24
Drawn by	Author
Project Status	DD

A-3.1

Scale As indicated



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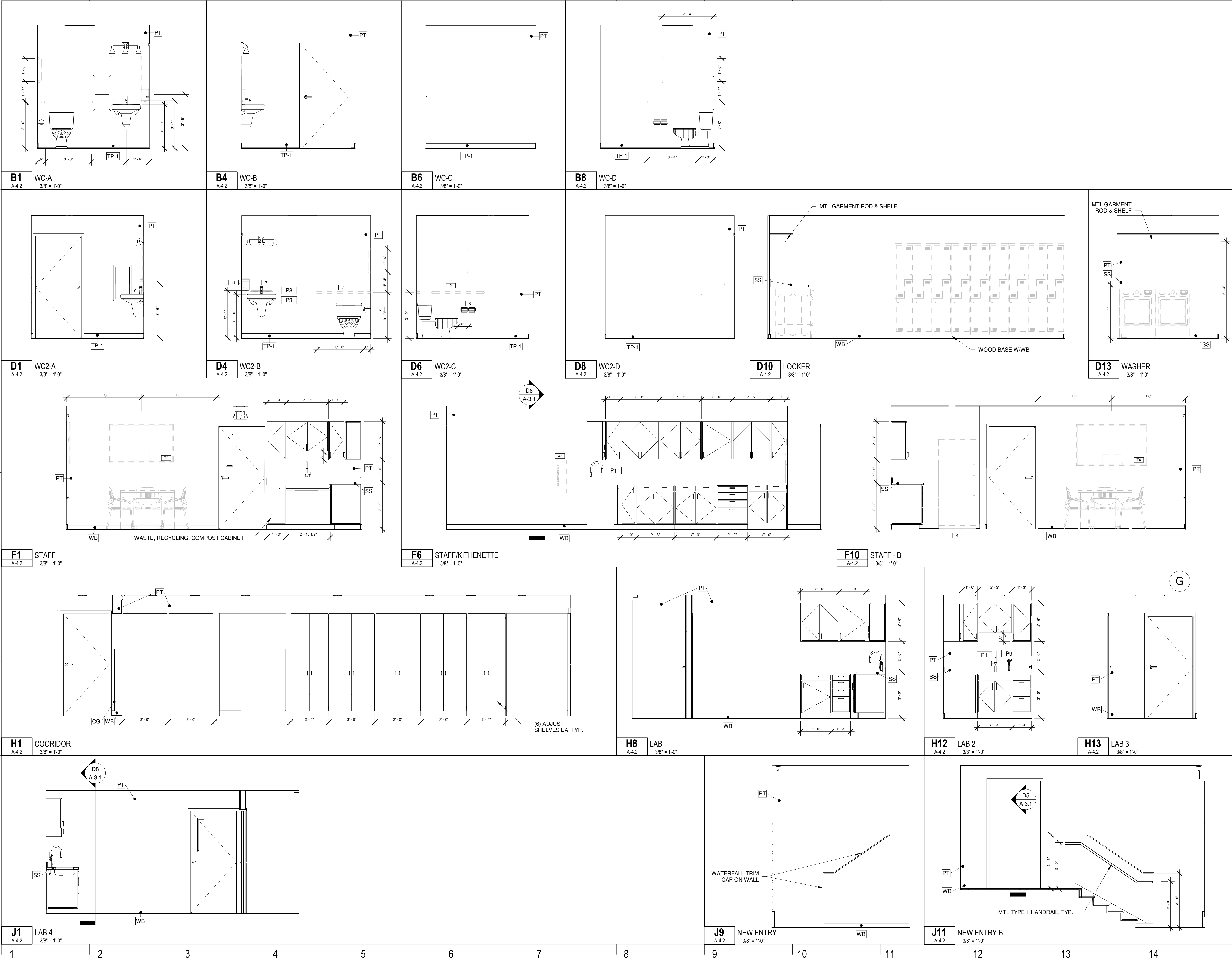
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No.	Description	Date

INTERIOR ELEVATIONS

Project number	22-30_PLEASANT ST DENTAL
Date	12.16.24
Drawn by	DD
Project Status	DD
Scale	3/8" = 1'-0"



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INTERIOR ELEVATIONS

Project number 22-30_PLEASANT ST DENTAL

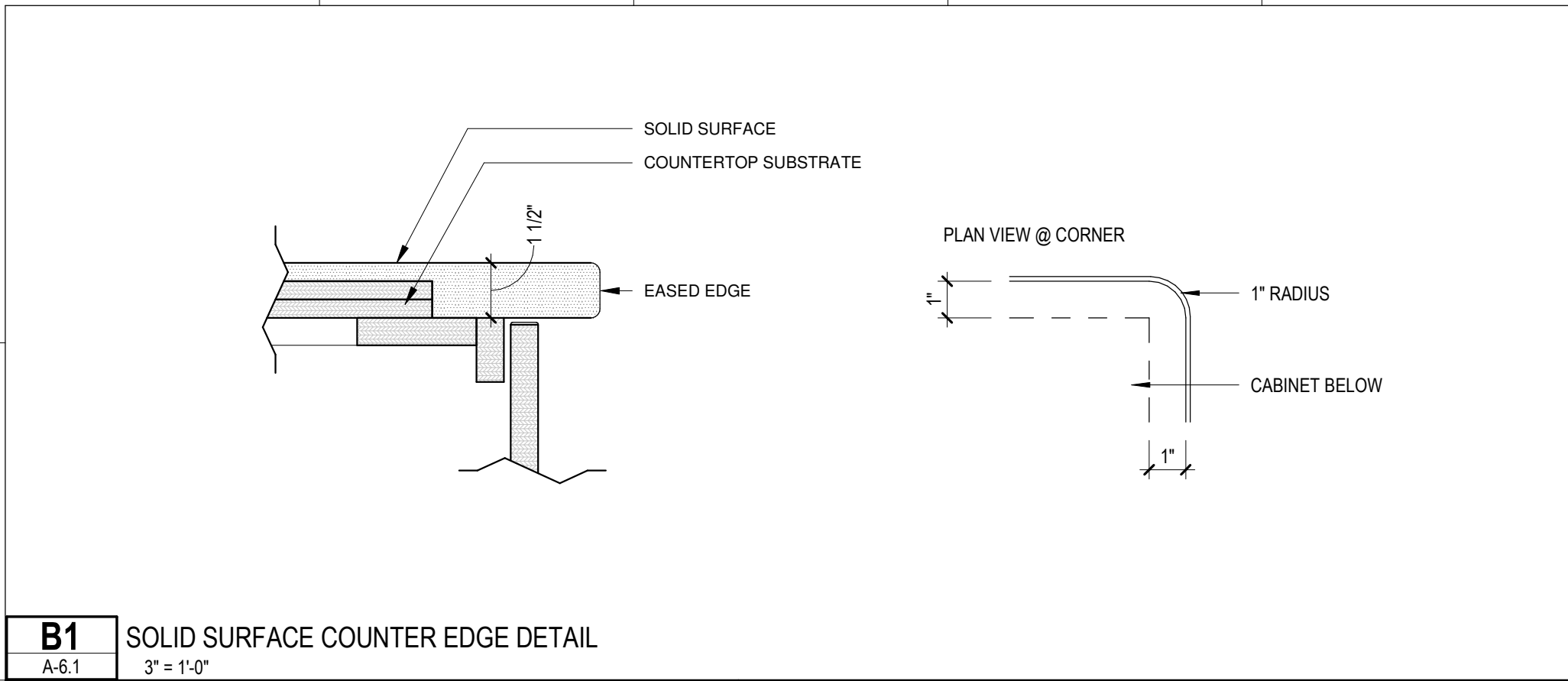
Date 12.16.24

Drawn by

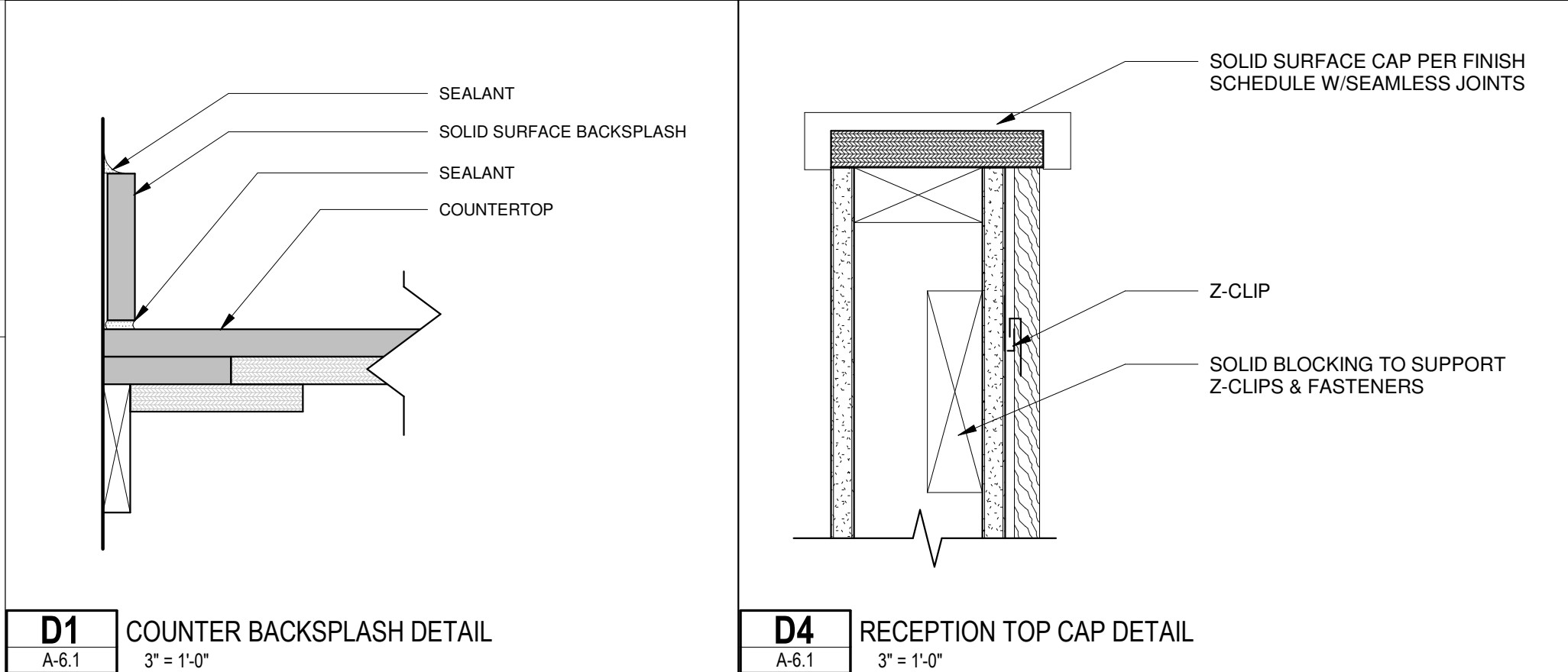
Project Status DD

A-4.2

Scale 3/8" = 1'-0"

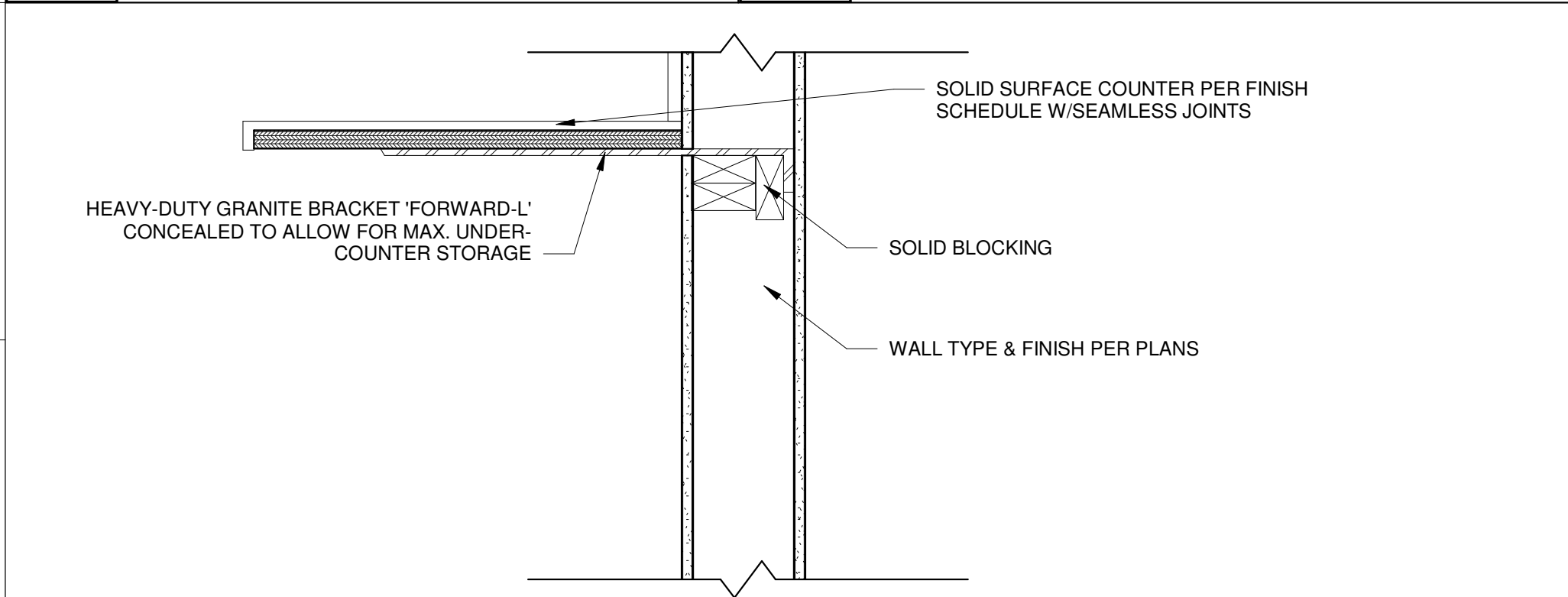


B1 SOLID SURFACE COUNTER EDGE DETAIL
A-6.1 3" = 1'-0"

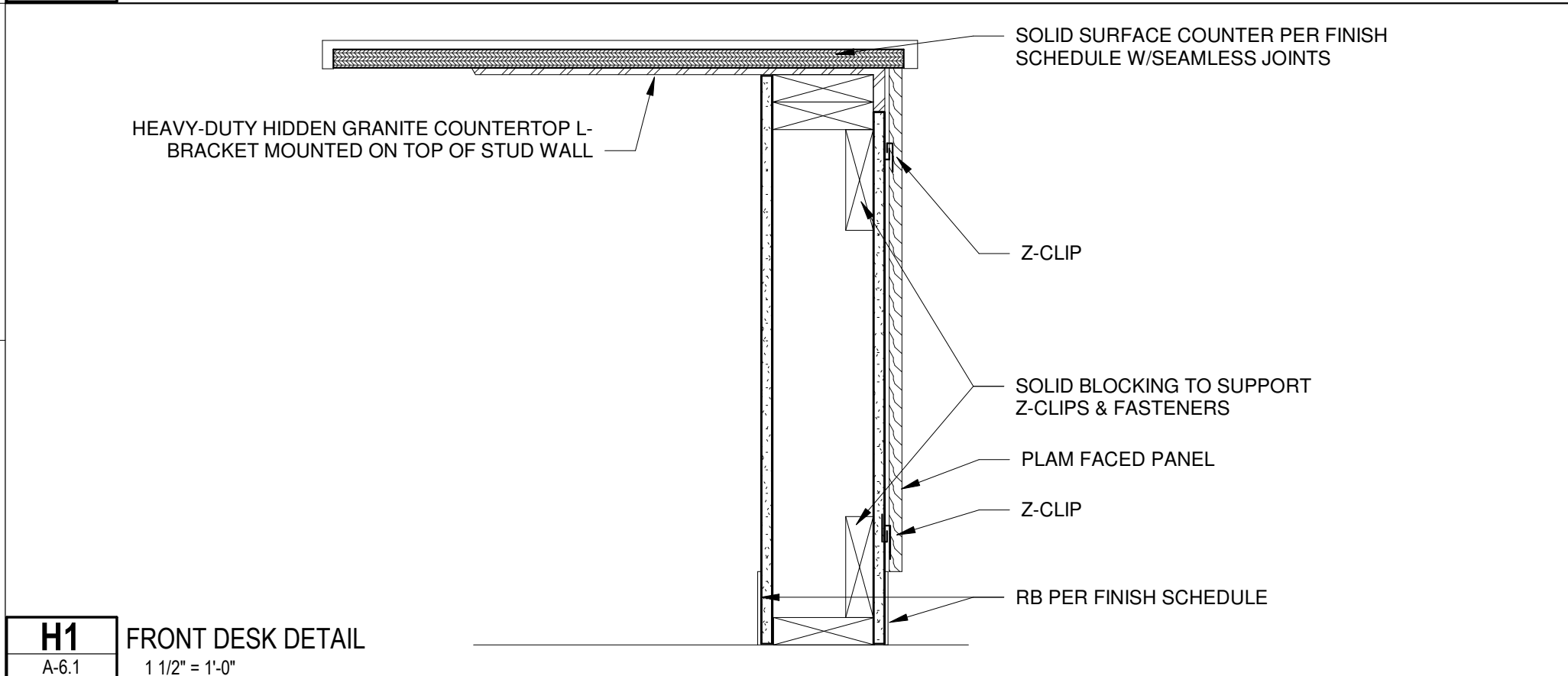


D1 COUNTER BACKSPASH DETAIL
A-6.1 3" = 1'-0"

D4 RECEPTION TOP CAP DETAIL
A-6.1 3" = 1'-0"

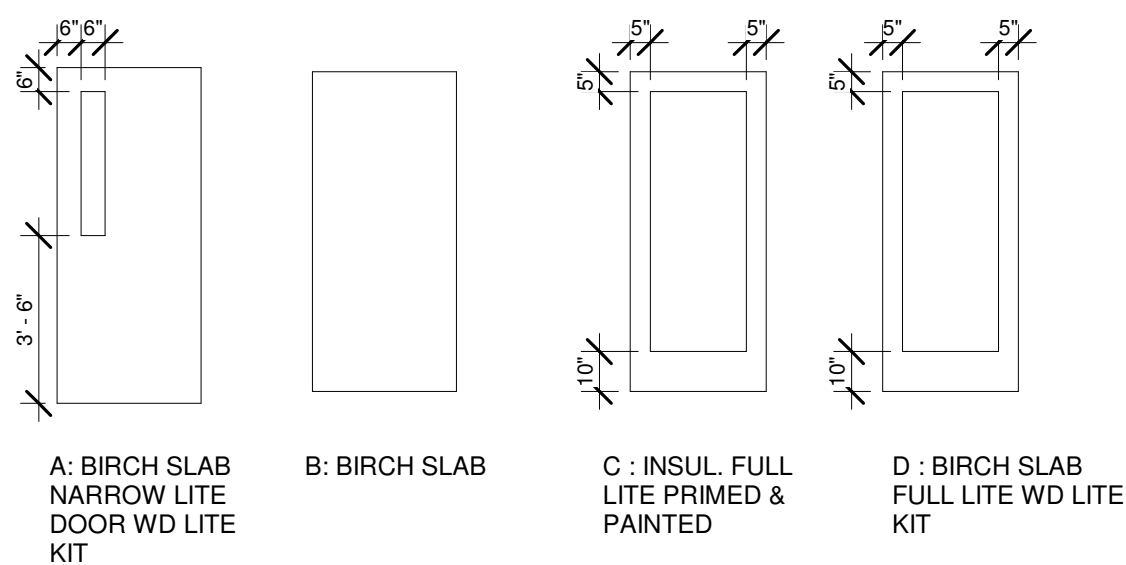


F1 TYP. WORKSTATION/FLOATING COUNTER DETAIL
A-6.1 1 1/2" = 1'-0"



H1 FRONT DESK DETAIL
A-6.1 1 1/2" = 1'-0"

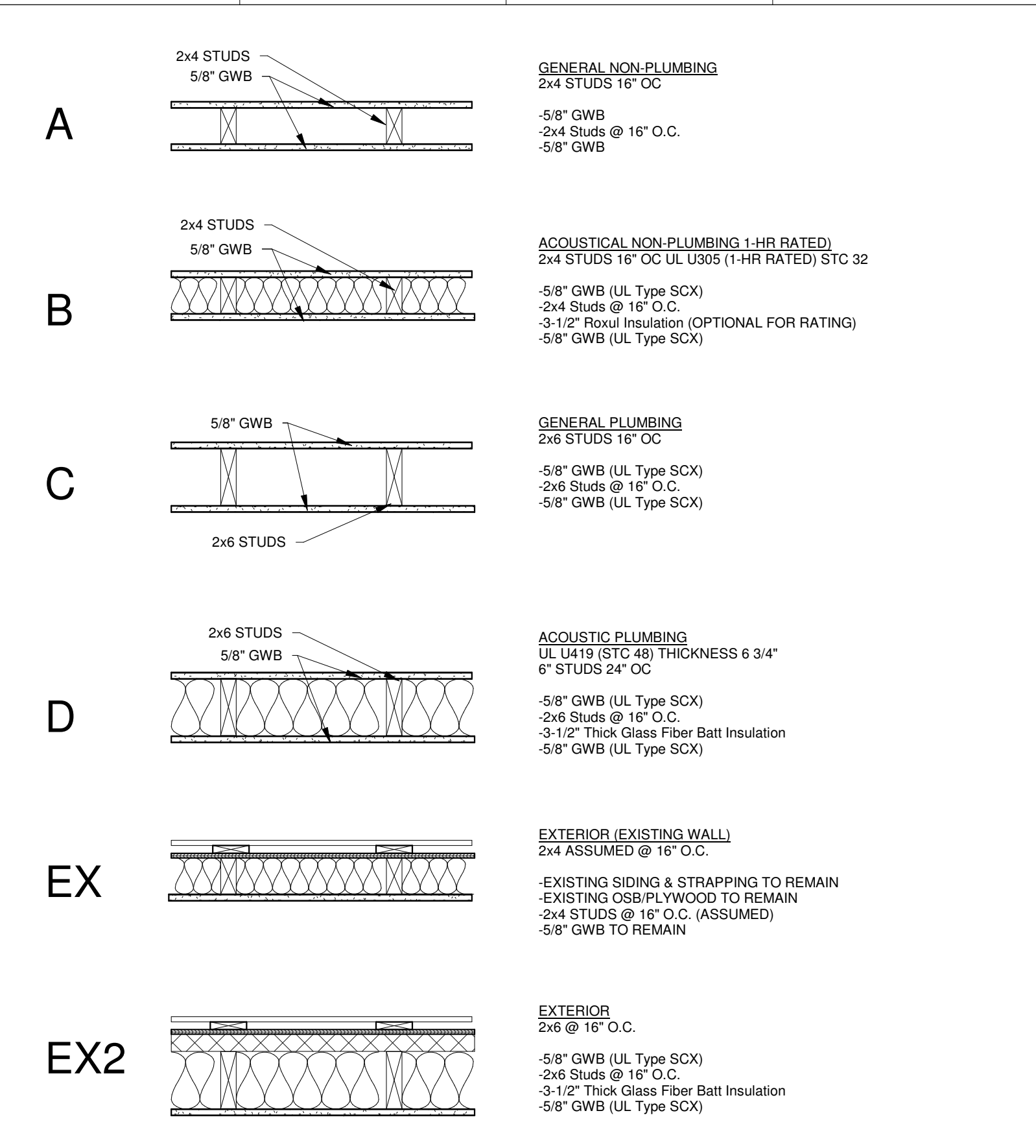
DOOR SCHEDULE						
#	Type	Width	Height	Hardware	Fire Rating	Comments
101	C	3' - 0"	6' - 8"	TYPE 5		
101B	A	3' - 0"	6' - 8"	TYPE 1		
102	D	3' - 0"	6' - 8"	TYPE 1		
102B	A	3' - 0"	6' - 8"	TYPE 1		
103	B	3' - 0"	6' - 8"	TYPE 3		
111	A	3' - 0"	6' - 8"	TYPE 2		
118	A	3' - 0"	6' - 8"	TYPE 1		
119	B	3' - 0"	6' - 8"	TYPE 2		
120	C	3' - 0"	6' - 8"	TYPE 5		
120B	B	3' - 0"	6' - 8"	TYPE 4	60 MIN	
121	B	3' - 0"	6' - 8"	TYPE 3		
201	A	3' - 0"	6' - 8"	TYPE 2		
202	B	3' - 0"	6' - 8"	TYPE 3		
203	A	3' - 0"	6' - 8"	TYPE 1		
203A	B	3' - 0"	6' - 8"	TYPE 2		
204	A	3' - 0"	6' - 8"	TYPE 1		
205	B	3' - 0"	6' - 8"	TYPE 1		
M107	B	3' - 0"	6' - 8"	TYPE 2	60 MIN	
S201	B	3' - 0"	6' - 8"	TYPE 4	60 MIN	



DOOR HARDWARE TYPE KEY
-GENERAL NOTE - PROVIDE SILENCERS ON ALL HEAVY METAL FRAMES, TYP.
-LEVERS MOUNTED AT 35" AFF MEASURED TO CENTER OF LEVER BORE HOLE

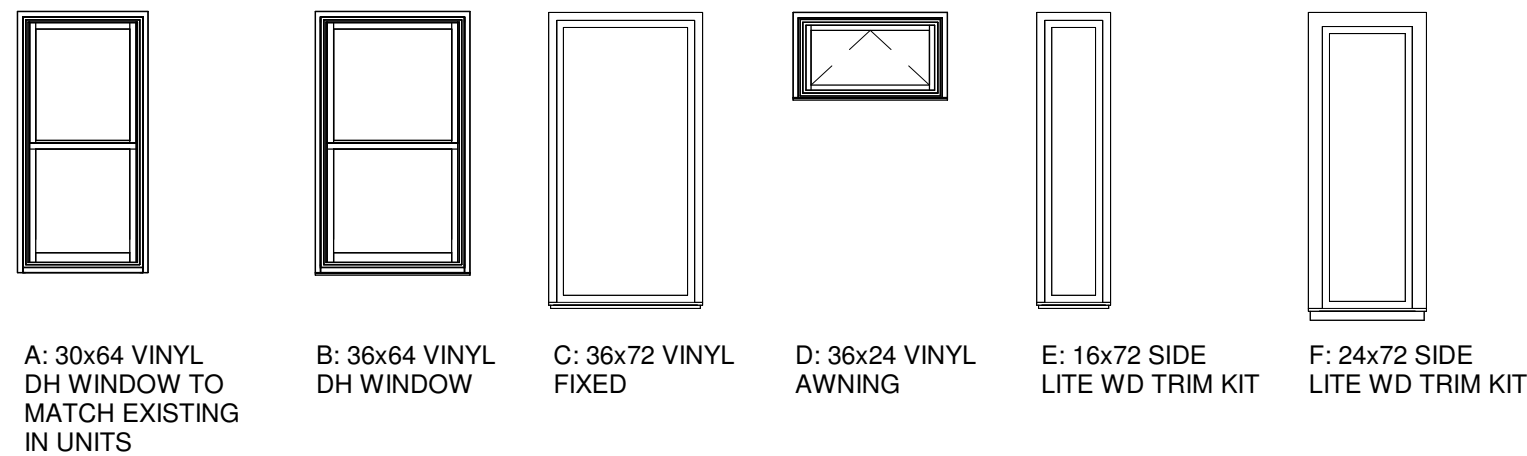
TYPE 1: SCHLAGE PASSAGE LEVER JUP 626, WALL-MOUNTED DOOR STOP 409.32D
TYPE 2: SCHLAGE PRIVACY LEVER JUP 626, WALL-MOUNTED DOOR STOP 409.32D
TYPE 3: SCHLAGE PRIVACY LEVER JUP 626 W/OCCUPANCY INDICATOR DEADBOLT B571626 626, WALL-MOUNTED DOOR STOP 409.32D
TYPE 4: SCHLAGE PASSAGE LEVER JUP 626, WALL-MOUNTED DOOR STOP 409.32D, CLOSER
TYPE 5: SCHLAGE XE360 TM SERIES WIRELESS MORTISE LOCK, DOOR SWEEPDOOR SWEEP (3EGR6), (3EGR6), LCN 8310-818 AUTOMATIC DOOR OPENER (BOTH SIDES OF DOOR)

INTERIOR FINISH LEGEND															
WALL PROTECTION WALL PROTECTION GENERAL NOTES: 1. SEE EQUIPMENT PLANS FOR WALL PROTECTION LOCATIONS. SEE ACCESSORIES LIST FOR WALL PROTECTION TYPES. INFORMATION BELOW IS FOR MATERIAL AND COLOR COORDINATION ONLY. 2. CORNER GUARDS ADJACENT TO WALL PROTECTION SHALL END AT ADJACENT WALL PROTECTION HEIGHT.	PAINT PAINT GENERAL NOTES: 1. SEE FINISH SCHEDULE FOR ALL FIELD WALL PAINT. SEE ID DRAWINGS FOR ACCENT WALL LOCATIONS. 2. DOOR & WINDOW FRAMES ARE TO BE PAINTED P-1. ANY TRANSITIONS SHALL OCCUR ON THE INSIDES OF THE DOOR STOP. 3. ALL GWB CEILINGS SHALL BE PAINTED P-0 U.N.O. ON RCP. ALL GWB SOFFITS TO MATCH ADJACENT WALLS U.N.O. ON RCP.														
<table><tr><td>WP</td><td>ITEM: WALL PROTECTION MANUF: WD FINISH: PRIME & PAINT COLOR: TBD SIZE: 1x8</td></tr><tr><td>FRP</td><td>ITEM: WALL PROTECTION (FRP) MANUF: PANOLAM PRODUCT: FIBERGLASS REINFORCED PLASTIC COLOR: TBD THICKNESS: SEE OUTLINE SPEC - SHEET T-1 SIZE: SEE ELEVATION A-4.1 (J1) NOTES: TO FINISHED FLOOR, NO WALL BASE</td></tr><tr><td>CG</td><td>TYPE: CORNER GUARD FINISH: IMPRO SIZE: 2" HEIGHT: 4'-0" COLOR: TBD</td></tr></table>	WP	ITEM: WALL PROTECTION MANUF: WD FINISH: PRIME & PAINT COLOR: TBD SIZE: 1x8	FRP	ITEM: WALL PROTECTION (FRP) MANUF: PANOLAM PRODUCT: FIBERGLASS REINFORCED PLASTIC COLOR: TBD THICKNESS: SEE OUTLINE SPEC - SHEET T-1 SIZE: SEE ELEVATION A-4.1 (J1) NOTES: TO FINISHED FLOOR, NO WALL BASE	CG	TYPE: CORNER GUARD FINISH: IMPRO SIZE: 2" HEIGHT: 4'-0" COLOR: TBD	<table><tr><td>P-0</td><td>ITEM: CEILING PAINT MANUF: SHERWIN WILLIAMS PRODUCT: EMERALD INTERIOR LATEX COLOR: SW 7007 CEILING BRIGHT WHITE FINISH: GWB-1: CEILING FLAT GWB-2: SEMI-GLOSS</td></tr><tr><td>PT</td><td>ITEM: PAINT MANUF: SHERWIN WILLIAMS PRODUCT: EMERALD INTERIOR LATEX COLOR: SW 7636 ORIGAMI WHITE FINISH: WALLS: EGGHELL FRAMES/WC/TRIM: SEMI GLOSS</td></tr><tr><td>PT-EXT</td><td>ITEM: PAINT (EXTERIOR SIDING) MANUF: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS COLOR: FINISH:</td></tr><tr><td>PT-2</td><td>ITEM: PAINT (EXTERIOR DOORS) MANUF: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS COLOR: FINISH:</td></tr></table>	P-0	ITEM: CEILING PAINT MANUF: SHERWIN WILLIAMS PRODUCT: EMERALD INTERIOR LATEX COLOR: SW 7007 CEILING BRIGHT WHITE FINISH: GWB-1: CEILING FLAT GWB-2: SEMI-GLOSS	PT	ITEM: PAINT MANUF: SHERWIN WILLIAMS PRODUCT: EMERALD INTERIOR LATEX COLOR: SW 7636 ORIGAMI WHITE FINISH: WALLS: EGGHELL FRAMES/WC/TRIM: SEMI GLOSS	PT-EXT	ITEM: PAINT (EXTERIOR SIDING) MANUF: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS COLOR: FINISH:	PT-2	ITEM: PAINT (EXTERIOR DOORS) MANUF: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS COLOR: FINISH:
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PT-2	ITEM: PAINT (EXTERIOR DOORS) MANUF: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS COLOR: FINISH:														
PLASTIC LAMINATE & SOLID SURFACE <table><tr><td>PL-1</td><td>TYPE: PLASTIC LAMINATE (CASEWORK MANUF. DEPENDANT) MANUF: TBD COLOR: TBD</td></tr><tr><td>PL-2</td><td>TYPE: PLASTIC LAMINATE MANUF: WILSONART COLOR: TBD EDGE: TBD - TO MATCH</td></tr><tr><td>SS-1</td><td>TYPE: SOLID SURFACE MANUF: WILSONART COLOR: MORNING ICE</td></tr><tr><td>SS-2</td><td>TYPE: SOLID SURFACE MANUF: WILSONART COLOR: ASPEN QUARTZITE (RECEPTION DESK PATIENT CHECK-IN & CHECK OUT COUNTERS ONLY)</td></tr></table>	PL-1	TYPE: PLASTIC LAMINATE (CASEWORK MANUF. DEPENDANT) MANUF: TBD COLOR: TBD	PL-2	TYPE: PLASTIC LAMINATE MANUF: WILSONART COLOR: TBD EDGE: TBD - TO MATCH	SS-1	TYPE: SOLID SURFACE MANUF: WILSONART COLOR: MORNING ICE	SS-2	TYPE: SOLID SURFACE MANUF: WILSONART COLOR: ASPEN QUARTZITE (RECEPTION DESK PATIENT CHECK-IN & CHECK OUT COUNTERS ONLY)	GENERAL NOTES 1. SEE RCP FOR CEILING TYPES AND LOCATIONS. 2. ALL ID PLAN DIMENSIONS ARE TO FACE OF FINISH U.N.O. TBD TO BE DETERMINED PTM PATCH TO MATCH ETR EXISTING TO REMAIN						
PL-1	TYPE: PLASTIC LAMINATE (CASEWORK MANUF. DEPENDANT) MANUF: TBD COLOR: TBD														
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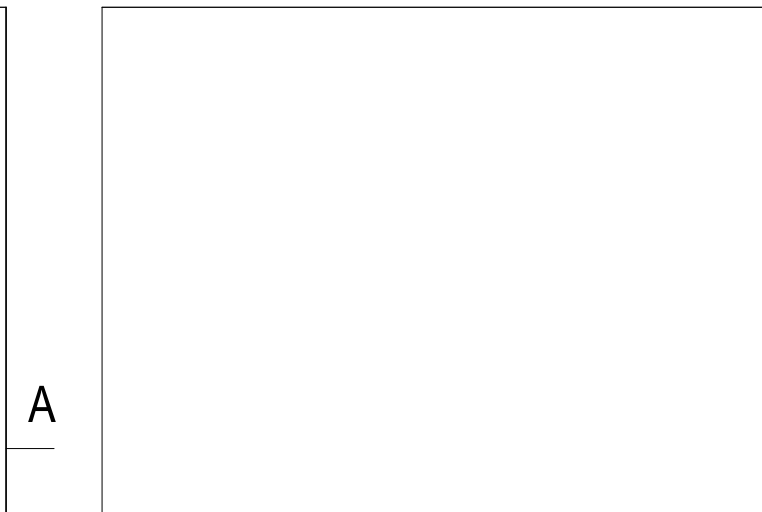
GENERAL WALL NOTES
-ALL WALLS TERMINATE 6" ABOVE ACT, UNO
-WHERE REQ. SOLID WOOD BLOCKING - PLYWOOD STRIPS, 2X OR PLYWOOD SHEETS TYP, UNO

E11 WALL TYPE LEGEND
A-6.1 1" = 1'-0"



WINDOW LEGEND
1/4" = 1'-0"

BUILDING CODE NOTES
CONTRACTOR TO ENSURE WINDOWS MEET IBC-2015 REQUIREMENTS IN SECTION 2406, SAFETY GLAZING. NEW WINDOWS TO MEET IECC-2015 U-FACTORS AND SHGC RATINGS.



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No.	Description	Date

SCHEDULES & FINISHES

Project number	22-30_PLEASANT ST DENTAL
Date	12.16.24
Drawn by	
Project Status	DD
A-6.1	
Scale	As indicated



Hardie® Plank

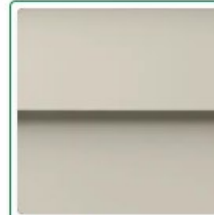
Find your style

Your home is a blank canvas. Experiment with a variety of Hardie® Plank siding styles, textures, and stunning colors featuring our ColorPlus® Technology finishes to create your masterpiece.

Select your texture



Select Cedarmill®



Smooth



Beaded Select
Cedarmill®



Beaded Smooth



Unavailable in your
area

Custom Colonial
Roughsawn



Unavailable in your
area

Custom Colonial
Smooth

Individual colors may vary depending on display settings. Samples only available in Select Cedarmill® texture. Please check with your contractor or local dealer for availability in your area.

Select your color collection



Faux Louver 1 (Deep Sea Blue A1)

Faux Louver

Atlantic's Faux Louver shutters use a unique patented process that delivers a beautiful louvered appearance. These shutters add a classic, traditional look with rhythmic, clean lines. Enhancing a variety of home styles, Faux Louver shutters offer the popular option of an additional rail, accentuating both horizontal and vertical appeal. Rails also accommodate optional sliding-bolt hardware for a more handsome operable-shutter application. Arch and radius top shutters are also available to match this popular window design.



Faux Louver 1 (Oyster Green)



Standard



Additional Rail



Archtop

Town of Brunswick, Maine

DEPARTMENT OF PLANNING AND DEVELOPMENT

DRAFT FINDINGS OF FACT REQUEST FOR CERTIFICATE OF APPROPRIATENESS FOR ADDITIONS AND ALTERATIONS VILLAGE REVIEW BOARD

PROJECT NAME: 9C Oak Street Fire Egress

CASE NUMBER: VRB 24-028

LOCATION: Map U14, Lot 66; 9C Oak Street

APPLICANT: Edwin Dijkshoorn
7 Dayspring Drive
Topsham, ME 04086

OWNER: Dayspring Property LLC
7 Dayspring Drive
Topsham, ME 04086

REVIEW DATE: January 23, 2025

PROJECT SUMMARY

The property at 9 Oak Street is an Italianate 2.5 story home built circa 1892 and is currently utilized as a three-family home. The applicant is requesting a Certificate of Appropriateness for Alterations to add two egress balconies for the third-floor apartment bedrooms as required by the Fire Department for life safety.

REVIEW STANDARDS, SECTION 5.2.8.C, TOWN OF BRUNSWICK ZONING ORDINANCE

(1) General Standard

- a. **All Certificates of Appropriateness for new construction, additions, alterations, relocations or demolition shall be in accordance with applicable requirements of this Ordinance.**

The proposed modifications to the property require a building permit from the Codes Enforcement Office.

- b. **In meeting the standards of this Ordinance, the applicant may obtain additional guidance from the *U.S. Secretary of Interior's Standards for Rehabilitating Historic Buildings* and the *Village Review Zone Design Guidelines*.**

There is no reference to fire egress in the Village Review Design Guidelines. The guidelines do contain a section on building access that refers to fire code, though fire balconies are a form of egress and do not provide access *to* a building. Regardless, a statement in the guidelines made about access is broad enough that it should also apply to forms of egress, "the design for a new means of access should be compatible with the historic building and

its setting”.

The U.S. Secretary of Interior's Standards for Rehabilitating Historic Buildings states that adding a balcony at an existing window where one did not exist before would be incompatible with the historic character of the building, however there is no mention of the need to do so to meet life safety requirements.

(2) New Construction and Additions and Alterations to Existing Structures

a. In approving applications for a Certificate of Appropriateness for new construction, additions or alterations to contributing resources, the reviewing entity shall make findings that the following standards have been satisfied:

i. Any additions or alterations shall be designed in a manner to minimize the overall effect on the historic integrity of the contributing resource.

The code required balconies will be constructed of galvanized powder-coated black steel as it is fireproof and has less mass than a wooden balcony.

ii. Alterations shall remain visually compatible with the existing streetscape.

The proposed change to the structure is minimal and it will remain visually compatible with the streetscape.

iii. Concealing of distinctive historic or architectural character-defining features is prohibited. If needed, the applicant may replace any significant features with in-kind replacement and/or accurate reproductions.

No character defining features will be concealed as part of the proposed project.

iv. New construction or additions shall be visually compatible with existing mass, scale and materials of the surrounding contributing resources.

The addition of the balconies shall have little effect on mass and scale of the structure and will be visually compatible with the neighboring properties.

v. When constructing additions, the applicant shall maintain the structural integrity of existing structures.

Not applicable.

b. In approving applications for a Certificate of Appropriateness for new construction of, or additions to commercial, multi-family and other non-residential structures, the Village Review Board shall make findings that the following additional standards have been satisfied.

i. Where practicable, new off-street parking shall be located to the rear of the principal building and shall be accessed from a secondary street. In cases where off-street parking currently exists in a front or side yard, the parking area shall be screened from the public right-of-way with landscaping or

fencing.

Not applicable.

- ii. Site plans shall identify pedestrian ways and connections from parking areas to public rights-of-way.**

Not applicable.

- iii. All dumpsters and mechanical equipment shall be located no less than 25 feet away from a public right-of-way, unless required by a public utility, and shall be screened from public view.**

Not applicable.

- iv. Roof-top mounted heating, ventilation, air conditioning and energy producing equipment shall be screened from the view of any public right-of-way or incorporated into the structural design to the extent that either method does not impede functionality. Parapets, projecting cornices, awnings or decorative roof hangs are encouraged. Flat roofs without cornices are prohibited.**

Not applicable.

- v. The use of cinder block, concrete and concrete block is prohibited on any portion of a structure that is visible from the building's exterior, with the exception of use in the building's foundation.**

Not applicable.

- vi. The use of vinyl, aluminum or other non-wood siding is permitted as illustrated in the Village Review Board Design Guidelines. Asphalt and asbestos siding are prohibited.**

Not applicable.

- vii. Buildings with advertising icon images built into their design ("trademark buildings") are prohibited.**

Not applicable.

- viii. No building on Maine Street shall have a horizontal expanse of more than 40 feet without a pedestrian entry.**

Not applicable.

- ix. No building on Maine Street shall have more than 15 feet horizontally of windowless wall.**

Not applicable.

- x. **All new buildings and additions on Maine Street shall be built to the front property line. This may be waived if at least 60 percent of the building's front facade is on the property line, and the area in front of the setback is developed as a pedestrian space.**

Not applicable.

- xi. **If adding more than 50 percent new floor area to a structure located on Maine Street, the addition shall be at least two (2) stories high and/or not less than 20 feet tall at the front property line.**

Not applicable.

- xii. **The first-floor facade of any portion of a building that is visible from Maine Street shall include a minimum of 50 percent glass. Upper floors shall have a higher percentage of solid wall, between 15 percent and 40 percent glass.**

Not applicable.

- c. **Proposed additions or alterations to noncontributing resources shall be designed to enhance or improve the structure's compatibility with nearby contributing resources as compared to the existing noncontributing resources.**

Not applicable as the structure is a contributing resource.

(3) Signs

Signs shall comply with the requirements of Section 4.13 (Signs) with consideration given to the Village Review Zone Design Guidelines.

Not applicable.

(4) Demolition and Relocation

- a. **Demolition or partial demolition or relocation of a contributing or, if visible from a public right-of-way, a noncontributing resource, excluding incidental or noncontributing accessory buildings and structures located on the same property, shall be prohibited unless the application satisfies at least one of the following criteria.**

- i. **The structure poses an imminent threat to public health or safety. An application must be accompanied by a report from a qualified structural engineer for review by the Codes Enforcement Officer and photographs depicting the current condition of the building.**

There is no demolition proposed and therefore this standard is not applicable.

- ii. **The condition of the structure is such that it cannot be adapted for any other permitted use, whether by the current owner or by a purchaser, resulting in a reasonable economic return, regardless of whether that return represents the most profitable return possible, provided that the applicant can document**

he/she has not contributed significantly to the deterioration of the structure. An opinion shall be provided from an architect, licensed engineer, developer, real estate consultant or appraiser or from a professional experienced in historic rehabilitation, as to the economic feasibility for restoration, renovation, or rehabilitation of the contributing resource versus demolition or relocation of same.

Not applicable.

- b. Demo, partial demolition or relocation of a noncontributing resource visible from a public right-of-way, shall be approved by the Village Review Board if it is determined that the proposed replacement structure or reuse of the property is deemed more appropriate and compatible with the surrounding contributing resources than the resource proposed for demolition.**

Not applicable.

DRAFT MOTIONS
MAP U14, LOT 66 (9C OAK STREET)
REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR ALTERATIONS
VILLAGE REVIEW BOARD
REVIEW DATE: JANUARY 23, 2025

- Motion 1:** That the Certificate of Appropriateness application is deemed complete.
- Motion 2:** That the Board approves the **Certificate of Appropriateness for Alterations** to renovate and alter the structure at 9C Oak Street at Map U14, Lot 66; 9C Oak Street, as outlined in the application and as satisfied by Subsection 5.2.8.C with the following condition(s):
1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.

Received:
By:

12/17/24
H

VRB Case #: 24-028

**VILLAGE REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS
APPLICATION**

1. Project Applicant:

Name: Edwin Dijkshoorn
Address: 7 Dayspring Dr, Topsham 04086
Phone Number: 207 406-0234
Email Address: eddijks@gmail.com

2. Project Property Owner:

Name: Dayspring Property LLC
Address: 7 Dayspring Dr Topsham 04086
Phone Number: 207 406-0234
Email Address: eddijks@gmail.com

3. Authorized Representative: (If different than applicant)

Name: _____
Address: _____
Phone Number: _____
Email Address: _____

4. Physical Location of Property Being Affected:

Address: 9C Oak St, Brunswick 04011

5. Tax Assessor's Map # 414 Lot # 66 of subject property.

6. Underlying Zoning District C8B

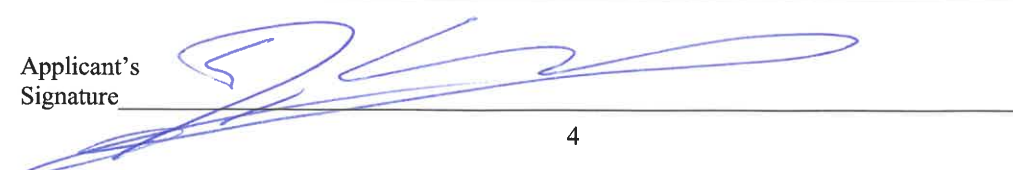
7. Type of Activity (check all that apply):

- ☒ Additions and New Construction
☐ Structural Alteration
☐ Demolition/Moving of Structure
☐ Sign Permit

8. Describe the location and nature of the proposed change(s), including a brief description of the proposed construction, reconstruction, alteration, demolition, proposed re-use, or other change (use separate sheet if necessary):

By fire department requested Egress balconies for 3rd floor Apartment Bedrooms.

Applicant's
Signature



**VILLAGE REVIEW OVERLAY
APPLICATION FOR CERTIFICATE OF COMPLIANCE
APPLICATION CHECK-LIST**

This checklist will be completed by the Department of Planning and Development. The Department requires that all application materials be submitted in BOTH hard copy and digital format. In addition, for Major Review applications, **EIGHT (8) HARD COPIES** are required after your application is considered complete by Department staff. Your project will not be placed on the Village Review Board's agenda until this determination is made. For assistance, please contact the Department of Planning and Development at (207)725-6660.

- ☒ Completed application form
- ☒ A copy of the building survey prepared by the Pejepscot Historical Society pertaining to the structure under review (*provided by Department Staff*).
- ☒ A drawing showing the design, texture, and location of any construction, alteration, demolition for which a certificate is required. The drawing shall include plans and exterior elevations drawn to scale, with sufficient detail to show their relations to exterior appearances and the architectural design of the building. Drawings need not be prepared by an architect or engineer, but shall be clear, complete, and specific.
- ☒ A site plan or photographs showing the relationship of the changes to the surroundings.
- N/A ☐ If architectural features are to be removed or replaced (including but not limited to original windows, siding, roofing material and other design elements), provide photographic documentation or a written assessment from a preservation professional or contractor explaining the condition of the material and reason for removal/replacement.
- ☒ Photographs of the building(s) involved, its context, and detailed photos of immediate area.
- ☒ List all proposed materials and products, and clearly identify their location on the drawings. Indicate texture of material, if applicable.
- ☐ Provide manufacturer's product information and, if possible, bring material samples to the meeting.
- N/A ☐ Provide information such as dimensions, photographs or source for salvaged or reused materials.
- S/A ☐ For demolition applications, provide detailed information addressing standards contained in Subsections 5.2.8.C (4) of the Brunswick Zoning Ordinance.

This application was certified as being complete on 1/7/2025 (date) by [Signature] of the Department of Planning and Development.

THIS APPLICATION WAS:

- ☐ Granted
- ☐ Granted With Conditions
- ☐ Denied
- ☒ Forwarded to Village Review Board
- ☒ Building Permit Required
- ☐ Building Permit NOT Required

Applicable Comments: _____

Signature of Department Staff Reviewing Application

COMPLIANCE WITH ZONING STANDARDS

Notice: This form is to be completed by the Codes Enforcement Officer and filed with the application.

This is to certify that the application for Certificate of Appropriateness submitted by Eduan Dijkshoorn, relating to property designated on Assessors Tax Map # U14 and Lot # 66 has been reviewed by the Codes Enforcement Officer and has been found to be in compliance with all applicable zoning standards:

Comments: _____

Signed: 
Date: 1-8-25

HISTORIC PRESERVATION SURVEY

Cumberland Brunswick 9 Oak Street
County City/Town Street Address and Number
historic: ca. 1892 residence of Alexis Theberge
Name of Building/site: Common and/or Historic



Approximate Date: ca. 1892 Style: Italianate

Type of Structure:
☒ Residential ☐ Commercial ☐ Industrial ☐ Other:

Condition: ☐ Good ☐ Fair ☐ Poor

Endangered: ☐ No ☐ Yes

Surveyor: J. Goff Organization: Pejepscot Regional Survey Date:

Rating:

Historic Significance to the Community:

(For Additional Information — Use Reverse Side)

Maps: 1910 #9=A. Theberge

Deeds: 590:196 Albert S. Rines to Alexis Thiberge \$550 lot. east=S.J.Boardman;
west=A.S. Rines. 11/17/1891

584:380 AT \$1 mortgage to Franklin C. Webb "premises" 4/8/1892

591:270 AT \$400 mortgage to Brunswick Loan & Building Association
"shall keep said buildings insured" 6/9/1892

1910 Directory: Mrs. Esther Theberge, wid. of Alexis, res. 9 Oak
Wilfred Theberge, clerk, 9 Oak
Adelard Bernier, emp. Cabot Mill, bds 9 Oak
Napoleon Couillard, mason tender, MCRR, bds. 9 Oak
Joseph LeBel, emp. foreman Electric Rd., 9 Oak

1917 Directory: #9= Ovide Theberge/Mrs. Atella Fortin



Dayspring Property LLC

P.O. Box 77

Topsham, ME 04086

Date: December 16th , 2024

Egress platform / balcony for 3rd floor apartment at 9 Oak street, Brunswick ME, 04011

Goal:

Add EGRESS platforms on the right side of the building under the 3rd floor bedroom windows (Fire Department Requirement)

Adding EGRESS platform as per Brunswick fire department.

In November of 2021 the Brunswick fire department did an inspection for the previous owner. All items from this report have been addressed during the last 2 years of remodeling of this building. Except for the 2 EGRESS platforms required for the 3 floor apartment bedrooms, which are mentioned in the inspection report..

We have made provisions to be able to install these platforms

Please see attached NFPA Life Safety Code requirement doc.

These platforms need to be installed on the right side of the building when standing in front of the building facing it, under the two 3rd floor bedroom windows.

EGRESS platforms (2): 48" x 36" x 42" (L x W x H)

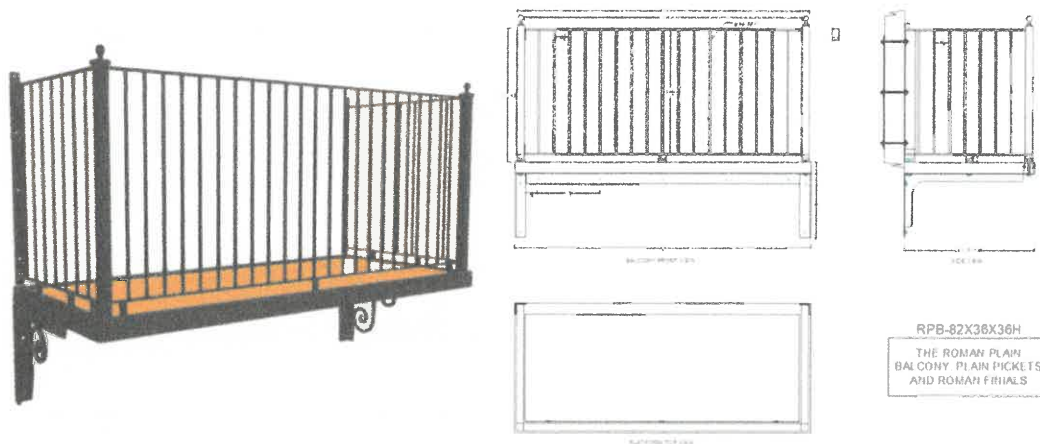


Placement of platforms.



Placement of balconies

Example of a balcony (no S-brackets mounted in this picture)



Drawing of balcony with S-brackets and wooden platform. We will install a steel platform

This permit application is for:

- 2 EGRESS platforms as explained above

Materials used for balconies: galvanized and then powder-coated steel (black) steel frame with a residential style steel deck.

We opted for this material solution, since it's fire proof, won't have snow and ice buildup as much as a wooden deck would have.

The other option for the balconies we have, is to build it from wood with maybe PVC coverings over the post and balusters, which in case of fire will be a less safe option. The latter is what you mostly see in Brunswick.

Also we feel that those type of balconies are very bulky and would be more of an eyesore than the proposed steel balconies. They are heavier and have larger diagonal support brackets which don't complement the aesthetics of a building.

Furthermore these steel balconies would be period correct with the building. The optional S brackets, as seen on picture 3, although structurally not needed, will be added for this purpose as well.

Attached:

- elevated aerial easements from neighboring property owner.
- Email from Joshua Shean (Deputy Chief Brunswick Fire Department)

Sincerely Edwin Dijkshoorn,

Dayspring property LLC

EASEMENT DEED

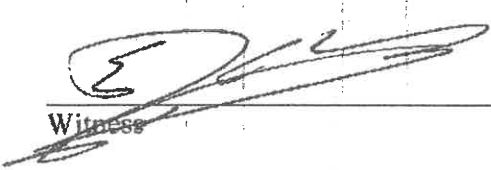
STUART C. BURNETT, of Hamilton, County of Loudoun, Commonwealth of Virginia (hereinafter referred to as "Grantor"), for consideration paid, does hereby grant to DAYSPRING PROPERTY LLC, a Maine limited liability company with principal place of business in Topsham, Sagadahoc County, Maine (hereinafter referred to as "Grantee"), with Quitclaim Covenant, easements over, across, and on the Grantor's property situated at 13 Oak Street in Brunswick, Maine, described as Lot 67 on Map U14 of the Town of Brunswick tax assessor records, and being more particularly described in deed dated July 5, 1978 and recorded in the Cumberland County Registry of Deeds in Book 4255, Page 137 and a second deed dated July 17, 1996 and recorded in said Registry in Book 12639, Page 305 (hereinafter referred to as "Burdened Parcel"), for the benefit of the Grantee's property situated at 9 Oak Street in Brunswick, Maine, described as Lot 66 on Map U14 of the Town of Brunswick tax assessor records, and being more particularly described in deed dated February 25, 2022 and recorded in said Registry in Book 39210, Page 99 (hereinafter referred to as "Benefited Parcel"), for the following purposes:

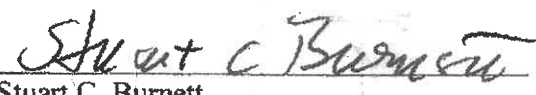
1. Easement for the use of the driveway on the Burdened Parcel for the purpose of maintenance and repair of the westerly side of the building located on the Benefited Parcel, including installation, maintenance, repair and replacement of two (2) balconies to be installed on the westerly side of the building situated on the Benefited Parcel.
2. Aerial easement over the Burdened Parcel for the location of the said balconies to be installed on the Benefited Parcel and which may extend beyond the bounds of the Benefited Parcel.

The easement rights described herein are binding upon and inure to the benefit of the parties, their personal representatives, heirs, successors and assigns and shall run with the land.

IN WITNESS WHEREOF, Stuart C. Burnett has set his hand and seal this 13th day of December, 2024.

SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF:

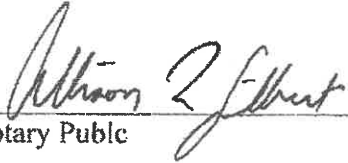

Witness


Stuart C. Burnett

STATE OF MAINE

County of Cumberland, ss.

Personally appeared before me the above-named Stuart C. Burnett and acknowledged the foregoing instrument to be his free act and deed.


Notary Public

ALLISON LOUISE GILBERT

Notary Public

Maine

My Commission Expires

NOVEMBER 28, 2030

eddijks@gmail.com

Van: Josh Shean <jshean@brunswickme.org>
Verzonden: vrijdag 6 december 2024 10:46
Aan: eddijks@gmail.com
Onderwerp: RE: draft easement wording

Hello Edwin,

Yes, I agree this option offers a higher degree of fire safety than the common wood construction. The intent of the escape balconies is to remove the occupants from the hazardous atmosphere to an area where the fire department can perform the rescue. In most cases, the toxic smoke is more dangerous by direct flame contact.

I applaud your initiative to implement a better solution. Yes, this will meet the fire code requirements and the Village Review Board should be in favor of the look too.

Joshua Shean
Deputy Chief
Brunswick Fire Department
NFPA CFI-II, IAAI-FIT

207-725-5541
207-721-4152 (O)

With limited exceptions, e-mails sent to and from the Town of Brunswick are considered public records under Maine's Freedom of Access Act (FOAA). Public records are open to inspection and may be copied and distributed to others, including members of the media. Unless the e-mail meets one of the exceptions to the public records provisions, there should be no expectation of privacy or confidentiality.

From: eddijks@gmail.com <eddijks@gmail.com>
Sent: Friday, December 6, 2024 7:25 AM
To: Josh Shean <jshean@brunswickme.org>
Subject: RE: draft easement wording

Good morning Josh,

Before I submit my proposal for the egress balconies to the historical board I'd like to get your input on the following.

For the egress balconies I'm considering the following:



48"x 36"x 42" (l x w x h)

This is a fully steel galvanized and powder coated bolt-on balcony. According to the manufacturer it meets the national building codes.

I'd prefer this type of balcony over the ones you typically see in Brunswick. Where wooden brackets are holding up a wooden frame with flammable PVC railings. For the decking I also prefer the steel due to its durability and non-flammable character.

Although upfront cost of these steel balconies is more, I feel in the long run it is a better choice.

<https://deciron.com/plain-picket-balcony/>

I don't know how they stack up against any fire code in Brunswick and like to get your opinion, before I submit my application to the board.

Thank you for taking a look at this.

Kind regards,
Edwin Dijkshoorn
Ph. 207 406-0234

Van: Josh Shean <jshean@brunswickme.org>

Verzonden: woensdag 4 december 2024 15:44

Aan: Susan Karnes <skarnes@brunswickme.gov>; Taylor Burdin <tburdin@brunswickme.gov>; Mike Pindell <mpindell@brunswickme.gov>

CC: eddijs@gmail.com; Taylor Burns <tburns@brunswickme.gov>

Onderwerp: RE: draft easement wording

This works for me. I have no additional comments.

Josh Shean
Deputy Chief
Brunswick Fire Department
NFPA CFI-II, IAAI-FIT

207-725-5541

From: Susan Karnes <skarnes@brunswickme.gov>

Sent: Wednesday, December 4, 2024 1:28 PM

To: Taylor Burdin <tburdin@brunswickme.gov>; Mike Pindell <mpindell@brunswickme.gov>

Cc: eddiiks@gmail.com; Josh Shean <jshewan@brunswickme.org>; Taylor Burns <tburns@brunswickme.gov>

Subject: draft easement wording

Hi there. Not sure if this should go to you two so if not, please let me know who to send it to.

Mr. Dijkshoorn of 9 Oak St. stopped in to have his draft easement reviewed. This pertains to the third story balcony egress he needs to install. He needs this easement from his neighbor to be in compliance with the fire department. I have copied Deputy Chief Shean and Assessor Burns in case they need to be in the loop as well.

Once Mr. Dijkshoorn is notified the wording is okay with the town, we need to let him know so he can have his attorney file the official papers.

Warm regards,
Susan Karnes
Administrative Floater (part-time)
Planning & Codes/Clerk's
725-6660 725-6658

Town Hall Hours
Mon.-Weds. – 8:30 AM to 4:30 PM
Thursday – 8:30 AM to 6:00 PM
Friday – 8:30 AM to 3:00 PM

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This email has been scanned for spam and viruses by Proofpoint Essentials. Click [here](#) to report this email as spam.

Town of Brunswick, Maine

DEPARTMENT OF PLANNING AND DEVELOPMENT

DRAFT FINDINGS OF FACT REQUEST FOR CERTIFICATE OF APPROPRIATENESS FOR ADDITIONS AND ALTERATIONS VILLAGE REVIEW BOARD

PROJECT NAME: 27 Pleasant Street/St. Paul's Episcopal Church Skirting

CASE NUMBER: VRB 25-001

LOCATION: Map U13, Lot 105; 27 Pleasant Street

APPLICANT: Leah Shipps
Restoration Resources
PO Box 525
Alna, ME 04535

OWNER: St. Paul's Episcopal Church
27 Pleasant Street
Brunswick, ME 04011

REVIEW DATE: January 23, 2025

PROJECT SUMMARY

St. Paul's Episcopal Church is a contributing structure built in Gothic Revival style circa 1845 with a later Queen Anne addition. The applicant is requesting a Certificate of Appropriateness for Alterations to replace the deteriorating architectural skirting around the foundation of the church. The existing wood skirting has two layers and the applicant proposes replacement with just one as shown in the original architectural drawings (provided). The applicant would like to utilize Azek, an engineered wood product that is more resistant to rot.

REVIEW STANDARDS, SECTION 5.2.8.C, TOWN OF BRUNSWICK ZONING ORDINANCE

(1) General Standard

- a. **All Certificates of Appropriateness for new construction, additions, alterations, relocations or demolition shall be in accordance with applicable requirements of this Ordinance.**

The proposed modifications to the property require only a Certificate of Appropriateness as there are no structural changes to the building.

- b. **In meeting the standards of this Ordinance, the applicant may obtain additional guidance from the *U.S. Secretary of Interior's Standards for Rehabilitating Historic Buildings* and the *Village Review Zone Design Guidelines*.**

The Village Review Overlay District Design Guidelines state that "the VRB will always prefer

the use of original material when repairing or replacing elements related to exterior cladding and trim... the first and preferred choice is to preserve and maintain the original exterior cladding...". It is also noted that substitute materials may be used in locations where they are subject to abuse and breakage; Azek trim is listed as a preferred substitute material.

In addition, the guidelines state that the exterior surface of the building should be photographically documented and submitted to the Pejepscot Historical Society prior to undertaking any repair or rehab work.

(2) New Construction and Additions and Alterations to Existing Structures

a. In approving applications for a Certificate of Appropriateness for new construction, additions or alterations to contributing resources, the reviewing entity shall make findings that the following standards have been satisfied:

i. Any additions or alterations shall be designed in a manner to minimize the overall effect on the historic integrity of the contributing resource.

The proposed changes to the skirting design will adhere to the original intentions of the church's architect, as shown in the provided 1845 architectural drawings. While the new skirting is proposed to be made of engineered material it will be painted to match the church and should blend seamlessly with the existing siding minimizing the effect on historical integrity. While wood is the preferred material to replace the skirting, it is low to the ground and suffers from a lot of exposure to moisture. The skirting represents only a small fraction of the siding on the building, the rest of which will remain as is. Using engineered material that is rot resistant represents huge savings in both time and money for the applicant.

ii. Alterations shall remain visually compatible with the existing streetscape.

The small change proposed will not affect compatibility with the existing streetscape.

iii. Concealing of distinctive historic or architectural character-defining features is prohibited. If needed, the applicant may replace any significant features with in-kind replacement and/or accurate reproductions.

The applicant is proposing to replace the skirting according to the original design only with engineered material; no features shall be concealed.

iv. New construction or additions shall be visually compatible with existing mass, scale and materials of the surrounding contributing resources.

Not applicable.

v. When constructing additions, the applicant shall maintain the structural integrity of existing structures.

Not applicable.

b. In approving applications for a Certificate of Appropriateness for new construction of, or additions to commercial, multi-family and other non-residential structures, the Village Review Board shall make findings that the following additional standards have been satisfied.

- i. Where practicable, new off-street parking shall be located to the rear of the principal building and shall be accessed from a secondary street. In cases where off-street parking currently exists in a front or side yard, the parking area shall be screened from the public right-of-way with landscaping or fencing.**

Not applicable.

- ii. Site plans shall identify pedestrian ways and connections from parking areas to public rights-of-way.**

Not applicable.

- iii. All dumpsters and mechanical equipment shall be located no less than 25 feet away from a public right-of-way, unless required by a public utility, and shall be screened from public view.**

Not applicable.

- iv. Roof-top mounted heating, ventilation, air conditioning and energy producing equipment shall be screened from the view of any public right-of-way or incorporated into the structural design to the extent that either method does not impede functionality. Parapets, projecting cornices, awnings or decorative roof hangs are encouraged. Flat roofs without cornices are prohibited.**

Not applicable.

- v. The use of cinder block, concrete and concrete block is prohibited on any portion of a structure that is visible from the building's exterior, with the exception of use in the building's foundation.**

Not applicable.

- vi. The use of vinyl, aluminum or other non-wood siding is permitted as illustrated in the Village Review Board Design Guidelines. Asphalt and asbestos siding are prohibited.**

Not applicable.

- vii. Buildings with advertising icon images built into their design ("trademark buildings") are prohibited.**

Not applicable.

- viii. No building on Maine Street shall have a horizontal expanse of more than 40**

feet without a pedestrian entry.

Not applicable.

- ix. No building on Maine Street shall have more than 15 feet horizontally of windowless wall.**

Not applicable.

- x. All new buildings and additions on Maine Street shall be built to the front property line. This may be waived if at least 60 percent of the building's front facade is on the property line, and the area in front of the setback is developed as a pedestrian space.**

Not applicable.

- xi. If adding more than 50 percent new floor area to a structure located on Maine Street, the addition shall be at least two (2) stories high and/or not less than 20 feet tall at the front property line.**

Not applicable.

- xii. The first-floor facade of any portion of a building that is visible from Maine Street shall include a minimum of 50 percent glass. Upper floors shall have a higher percentage of solid wall, between 15 percent and 40 percent glass.**

Not applicable.

- c. Proposed additions or alterations to noncontributing resources shall be designed to enhance or improve the structure's compatibility with nearby contributing resources as compared to the existing noncontributing resources.**

The building is a contributing structure and therefore this standard is not applicable.

(3) Signs

Signs shall comply with the requirements of Section 4.13 (Signs) with consideration given to the Village Review Zone Design Guidelines.

No new signage is proposed as part of this project; not applicable

(4) Demolition and Relocation

- a. Demolition or partial demolition or relocation of a contributing or, if visible from a public right-of-way, a noncontributing resource, excluding incidental or noncontributing accessory buildings and structures located on the same property, shall be prohibited unless the application satisfies at least one of the following criteria.**

- i. The structure poses an imminent threat to public health or safety. An**

application must be accompanied by a report from a qualified structural engineer for review by the Codes Enforcement Officer and photographs depicting the current condition of the building.

There is no demolition proposed and therefore this standard is not applicable.

- ii. The condition of the structure is such that it cannot be adapted for any other permitted use, whether by the current owner or by a purchaser, resulting in a reasonable economic return, regardless of whether that return represents the most profitable return possible, provided that the applicant can document he/she has not contributed significantly to the deterioration of the structure. An opinion shall be provided from an architect, licensed engineer, developer, real estate consultant or appraiser or from a professional experienced in historic rehabilitation, as to the economic feasibility for restoration, renovation, or rehabilitation of the contributing resource versus demolition or relocation of same.**

Not applicable.

- b. Demo, partial demolition or relocation of a noncontributing resource visible from a public right-of-way, shall be approved by the Village Review Board if it is determined that the proposed replacement structure or reuse of the property is deemed more appropriate and compatible with the surrounding contributing resources than the resource proposed for demolition.**

Not applicable.

DRAFT MOTIONS
MAP U13, LOT 105 (27 PLEASANT STREET)
REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR ALTERATIONS
VILLAGE REVIEW BOARD
REVIEW DATE: JANUARY 23, 2025

- Motion 1:** That the Certificate of Appropriateness application is deemed complete.
- Motion 2:** That the Board approves the **Certificate of Appropriateness for Alterations** to renovate and alter St Paul's Episcopal Church at Map U13, Lot 105; 27 Pleasant Street, as outlined in the application and as satisfied by Subsection 5.2.8.C with the following condition(s):
1. That the Board's review and approval does hereby refer to these findings of fact, the plans and materials submitted by the applicant and the written and oral comments of the applicant, his representatives, reviewing officials, and members of the public as reflected in the public record. Any changes to the approved plan not called for in these conditions of approval or otherwise approved by the Director of Planning and Development as a minor modification, shall require further review and approval in accordance with the Brunswick Zoning Ordinance.
 2. Photographs shall be taken of the existing conditions and submitted to Pejepsot Historical Society before commencing with the project.

Received: 1/3/24
By: RS

VRB Case #: 25-001

**VILLAGE REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS
APPLICATION**

1. Project Applicant:

Name: Restoration Resources / Leah Shipps (contact)
Address: PO Box 525 Alna, Maine 04535
Phone Number: 207-586-5680 (office)
Email Address: leah@oldhouserestoration.com

2. Project Property Owner:

Name: St. Paul's Episcopal Church, Phil Studwell (contact)
Address: 27 Pleasant Street, Brunswick, Maine 04011
Phone Number: 207-729-8259 (Phil Studwell)
Email Address: studwp@gmail.com

3. Authorized Representative: (If different than applicant)

Name: _____
Address: _____
Phone Number: _____
Email Address: _____

4. Physical Location of Property Being Affected:

Address: 27 Pleasant Street

5. Tax Assessor's Map # U13 Lot # 105 of subject property.

6. Underlying Zoning District GM6

7. Type of Activity (check all that apply):

- ☐ Additions and New Construction
☒ Structural Alteration
☐ Demolition/Moving of Structure
☐ Sign Permit

8. Describe the location and nature of the proposed change(s), including a brief description of the proposed construction, reconstruction, alteration, demolition, proposed re-use, or other change (use separate sheet if necessary): Please see attached letter.

Applicant's
Signature

[Signature]

**VILLAGE REVIEW OVERLAY
APPLICATION FOR CERTIFICATE OF COMPLIANCE
APPLICATION CHECK-LIST**

This checklist will be completed by the Department of Planning and Development. The Department requires that all application materials be submitted in BOTH hard copy and digital format. In addition, for Major Review applications, EIGHT (8) HARD COPIES are required after your application is considered complete by Department staff. Your project will not be placed on the Village Review Board's agenda until this determination is made. For assistance, please contact the Department of Planning and Development at (207)725-6660.

- ☒ Completed application form
- ☒ A copy of the building survey prepared by the Pejepscot Historical Society pertaining to the structure under review (*provided by Department Staff*).
- ☒ A drawing showing the design, texture, and location of any construction, alteration, demolition for which a certificate is required. The drawing shall include plans and exterior elevations drawn to scale, with sufficient detail to show their relations to exterior appearances and the architectural design of the building. Drawings need not be prepared by an architect or engineer, but shall be clear, complete, and specific.
- ☒ A site plan or photographs showing the relationship of the changes to the surroundings.
- ☒ If architectural features are to be removed or replaced (including but not limited to original windows, siding, roofing material and other design elements), provide photographic documentation or a written assessment from a preservation professional or contractor explaining the condition of the material and reason for removal/replacement.
- ☒ Photographs of the building(s) involved, its context, and detailed photos of immediate area.
- ☒ List all proposed materials and products, and clearly identify their location on the drawings. Indicate texture of material, if applicable.
- ☒ Provide manufacturer's product information and, if possible, bring material samples to the meeting.
- ☐ Provide information such as dimensions, photographs or source for salvaged or reused materials.
- ☐ For demolition applications, provide detailed information addressing standards contained in Subsections 5.2.8.C (4) of the Brunswick Zoning Ordinance.

This application was certified as being complete on 1/7/2025 (date) by [Signature] of the Department of Planning and Development.

THIS APPLICATION WAS:

- ☐ Granted
- ☐ Granted With Conditions
- ☐ Denied
- ☒ Forwarded to Village Review Board
- ☐ Building Permit Required
- ☒ Building Permit NOT Required

Applicable Comments: _____

Signature of Department Staff Reviewing Application

COMPLIANCE WITH ZONING STANDARDS

Notice: *This form is to be completed by the Codes Enforcement Officer and filed with the application.*

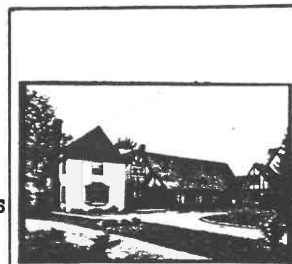
This is to certify that the application for Certificate of Appropriateness submitted by
Restoration Resources relating to property designated on Assessors Tax Map # W3 and
Lot # 105 has been reviewed by the Codes Enforcement Officer and has been found to be in
compliance with all applicable zoning standards:

Comments: _____

Signed: 
Date: 1-8-25

HISTORIC PRESERVATION SURVEY

Cumberland Brunswick 27 Pleasant
 County City/Town Street Address and Number
 historic: 1845, ca. 1902, ca. 18__ Episcopal Church buildings
 Name of Building/site: Common and/or Historic



1979 photo L. Borysenko

Approximate Date: 1845, ca. 1902, circa 18__ Style: Gothic Revival with Queen Anne addition & attached 19th c. building
 19th c. photo PHS archives

Type of Structure:
☐ Residential ☐ Commercial ☐ Industrial
☒ Religious

Condition: ☒ Good ☐ Fair ☐ Poor

Endangered: ☐ No ☐ Yes

Surveyor: J. Goff Organization:
 Pejepscot Regional Survey

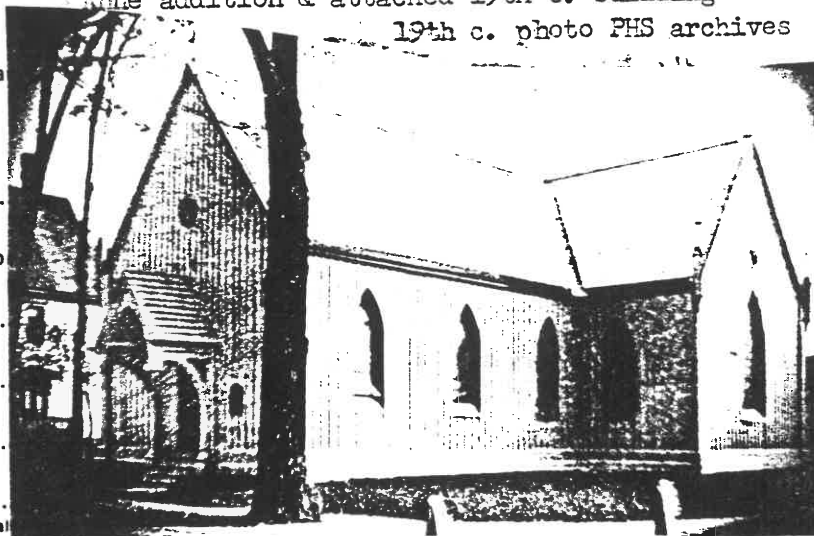
Rating:

Historic Significance to the Community:

Archt.: Richard Upjohn

Builder: Melcher

(For Additional



27 PLEASANT

Maps: 1910 no #-Episc. Ch.

Deeds: 187:114 Levi Melcher to Joseph Badger, Daniel R. Goodwin, Thomas F. Fales
 \$340 lot 6r Pleasant x 8r Union 8/14/1844

198:26 JB et al to Saint Paul's Church \$340 lot with "building recently erected
 by said [St. Paul's Church] society" 3/2/1846. cites 187:114

Newspaper: Brunswicker 8/22/1844: "The Episcopal house is to be located on Pleasant
 street; and is to be built under the direction of our worthy townsman,
 Mr. Melcher, who has well earned the title of 'builder of churches.'"

Brunswick Telegraph 9/6/1902 p.3: "The Chase house will probably be moved
 back and used as an accessory to the new Episcopal church..."

R.T.D. Melcher journal I (1835-1856, Bowdoin archives) contains 8/5/1844 and June 1845
 references to St. Paul's Church; 12/2/1847 ref. to "making Sounding Board & finding stock"

Brunswick Record 6/21/1907 p.7: "Plans for the edifice were obtained from Richard
 Upjohn of New York. It was put under contract in the summer of 1844 and completed
 in July of the following year"

Brunswick Record 6/21/1907 p. 7 [Chronology of Episcopal ministers here:]

Rev. Thos F. Fales	1844-1849
Rev. Andrew Croswell	1849-1853
Rev. D.R. Goodwin	1853-1854
Rev. Wm. S. Chadwell	1854-1857
Rev. Edw. Ballard	1858-1870
Rev. Joseph Pemberton Taylor	1871-1873
Rev. Frederick Schroeder Sill	1873-1876
Rev. James S. Pury	1876-1877
Rev. Harry Pierce Nichols	1877-1883
Rev. George A. Holbrook	1883-1888
Rev. W.H. Burbank	
Rev. C.E.O. Nichols	
Rev. John L. Porter, Rev. G.R. Messias	
Rev. Medville McLaughlin	
Rev. E.D. Johnson	1901-1905
Rev. Charles F. Lee	

MHPC USE ONLY

INVENTORY NO.

MAINE HISTORIC PRESERVATION COMMISSION

Historic Building/Structure Survey Form

1. PROPERTY NAME (HISTORIC): St. Paul's Episcopal Church
2. PROPERTY NAME (OTHER): _____
3. STREET ADDRESS: 27 Pleasant Street
4. TOWN: Brunswick
5. COUNTY: Cumberland
6. DATE RECORDED: May 2001
7. SURVEYOR: Turk Tracey & Larry, Architects, LLC.
8. OWNER NAME: St. Paul's Episcopal Church
- ADDRESS: 27 Pleasant Street, Brunswick, Me 04011
9. PRIMARY USE (PRESENT):
- | | | | |
|---------------------------------------------|-----------------------------------------------|----------------------------------------------|--------------------------------------|
| <input type="checkbox"/> SINGLE FAMILY | <input type="checkbox"/> AGRICULTURE | <input type="checkbox"/> COMMERCIAL/TRADE | <input type="checkbox"/> FUNERARY |
| <input type="checkbox"/> MULTI-FAMILY | <input type="checkbox"/> GOVERNMENTAL | <input type="checkbox"/> EDUCATION | <input type="checkbox"/> HEALTH CARE |
| <input type="checkbox"/> INDUSTRY | <input checked="" type="checkbox"/> RELIGIOUS | <input type="checkbox"/> HOTEL | <input type="checkbox"/> LANDSCAPE |
| <input type="checkbox"/> TRANSPORTATION | <input type="checkbox"/> DEFENSE | <input type="checkbox"/> SUMMER COTTAGE/CAMP | <input type="checkbox"/> SOCIAL |
| <input type="checkbox"/> RECREATION/CULTURE | <input type="checkbox"/> UNKNOWN | | |
| <input type="checkbox"/> OTHER _____ | | | |
10. CONDITION: ☒ GOOD ☐ FAIR ☐ POOR ☐ DESTROYED, DATE / /

ARCHITECTURAL DATA

11. PRIMARY STYLISTIC CATEGORY:
- | | | | |
|----------------------------------------------------|-------------------------------------------|-----------------------------------------------|----------------------------------------|
| <input type="checkbox"/> COLONIAL | <input type="checkbox"/> STICK STYLE | <input type="checkbox"/> NEO-CLASSICAL REV. | <input type="checkbox"/> FOUR SQUARE |
| <input type="checkbox"/> FEDERAL | <input type="checkbox"/> QUEEN ANNE | <input type="checkbox"/> RENAISSANCE REV. | <input type="checkbox"/> ART DECO |
| <input type="checkbox"/> GREEK REVIVAL | <input type="checkbox"/> SHINGLE STYLE | <input type="checkbox"/> 19TH/20TH C. REVIVAL | <input type="checkbox"/> INTERNATIONAL |
| <input checked="" type="checkbox"/> GOTHIC REVIVAL | <input type="checkbox"/> R. ROMANESQUE | <input type="checkbox"/> ARTS & CRAFTS | <input type="checkbox"/> RANCH |
| <input type="checkbox"/> ITALIANATE | <input type="checkbox"/> ROMANESQUE | <input type="checkbox"/> BUNGALOW | <input type="checkbox"/> VERNACULAR |
| <input type="checkbox"/> SECOND EMPIRE | <input type="checkbox"/> HIGH VIC. GOTHIC | OTHER _____ | |
12. OTHER STYLISTIC CATEGORY:
- | | | | |
|-----------------------------------------|-------------------------------------------|-----------------------------------------------|----------------------------------------|
| <input type="checkbox"/> COLONIAL | <input type="checkbox"/> STICK STYLE | <input type="checkbox"/> NEO-CLASSICAL REV. | <input type="checkbox"/> FOUR SQUARE |
| <input type="checkbox"/> FEDERAL | <input type="checkbox"/> QUEEN ANNE | <input type="checkbox"/> RENAISSANCE REV. | <input type="checkbox"/> ART DECO |
| <input type="checkbox"/> GREEK REVIVAL | <input type="checkbox"/> SHINGLE STYLE | <input type="checkbox"/> 19TH/20TH C. REVIVAL | <input type="checkbox"/> INTERNATIONAL |
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| <input type="checkbox"/> ITALIANATE | <input type="checkbox"/> ROMANESQUE | <input type="checkbox"/> BUNGALOW | <input type="checkbox"/> VERNACULAR |
| <input type="checkbox"/> SECOND EMPIRE | <input type="checkbox"/> HIGH VIC. GOTHIC | OTHER _____ | |
13. HEIGHT:
- ☒ 1 STORY ☐ 1 1/2 STORY ☐ 2 STORY ☐ 2 1/2 STORY ☐ 3 STORY ☐ 4 STORY
- ☐ 5 STORY ☐ OVER 5 ()
14. PRIMARY FACADE WIDTH (MAIN BLOCK; USE GROUND FLOOR):
- ☒ 1 BAY ☐ 2 BAY ☐ 3 BAY ☐ 4 BAY ☐ 5 BAY ☐ MORE THAN 5 ()
15. APPENDAGES: ☒ SIDE ELL ☒ REAR ELL ☐ FRONT ☐ ADDED STORIES ☐ SHED
- ☐ DORMERS ☐ PORCH ☐ TOWER ☐ CUPOLA ☐ BAY WINDOW



16. PORCH: ☐ ATTACHED ☐ ENGAGED ☐ ONE STORY ☐ MORE THAN ONE STORY
☐ FULL WIDTH ☐ WRAPAROUND ☐ SLEEPING PORCH ☐ SECONDARY PORCH
17. PLAN: ☐ HALL AND PARLOR ☐ 1/2 CAPE ☒ CENTRAL HALL ☐ SIDE HALL
☐ BACK HALL ☐ IRREGULAR ☐ OTHER _____
18. PRIMARY STRUCTURAL SYSTEM: ☐ TIMBER FRAME ☐ BRACED FRAME ☐ BRICK ☐ STONE ☐ BALLOON FRAME
☐ CONCRETE ☐ STEEL ☐ LOG ☐ PLANK WALL ☐ PLATFORM FRAME
☒ FRAME CONSTRUCTION - TYPE UNKNOWN ☐ OTHER _____
19. CHIMNEY PLACEMENT: ☐ INTERIOR ☐ INTERIOR FRONT/REAR ☐ CENTER ☐ INTERIOR END ☐ EXTERIOR
☐ OTHER _____
20. ROOF CONFIGURATION: ☐ GABLE SIDE ☒ GABLE FRONT ☐ SHED ☐ HIP ☐ CROSS ☐ MANSARD ☐ FLAT
☐ GAMBREL ☐ PARAPET GABLE ☐ OTHER _____
21. ROOF MATERIAL: WOOD ☐ METAL ☐ TILE ☐ SLATE ☐ ASPHALT ☒ ASBESTOS ☐
22. EXTERIOR WALL MATERIALS: ☐ CLAPBOARD ☐ BRICK ☐ FLUSH SHEATHING ☐ WOOD SHINGLE ☐ STONE
☐ LOG ☐ PRESSED METAL ☐ CONCRETE ☐ STUCCO ☐ ASPHALT
☐ GRANITE ☐ ASBESTOS ☐ TERRA COTTA ☒ BOARD AND BATTEN ☐ ALUMINUM/VINYL
☐ OTHER _____
23. FOUNDATION MATERIAL: ☐ FIELDSTONE ☐ BRICK ☐ WOOD ☐ CONCRETE ☒ GRANITE ☐ ORNAMENTAL CONC. BLOCK
☐ OTHER _____
24. OUTBUILDINGS/FEATURES: ☐ CARRIAGE HOUSE ☐ FENCE OR WALL ☐ CEMETERY ☐ BARN (CONNECTED)
☐ BARN (DETACHED) ☐ FORMAL GARDEN ☐ LANDSCAPE/PLANT MAT. ☐ ARCHAEOLOGICAL SITE
☐ GARAGE ☐ OTHER Rear Addition

HISTORICAL DATA

25. DOCUMENTED DATE OF CONSTRUCTION: 1845 26. ESTIMATED DATE OF CONSTRUCTION: ca.
27. DATE MAJOR ADDITIONS/ALTERATIONS: 1858 – Interior modifications, 1868 – memorial windows added, and 1902 – Modification and additions to rear of church
28. ARCHITECT: Richard Upjohn, New York 29. CONTRACTOR: Melcher
30. ORIGINAL OWNER: Episcopal Church
31. SUBSEQUENT SIGNIFICANT OWNER: _____ DATES: _____
32. CULTURAL/ETHNIC AFFILIATION: ☐ ENGLISH ☐ FRENCH ACADIAN ☐ NATIVE AMERICAN ☐ SCOTTISH ☐ FRENCH CANADIAN
☐ EAST EUROPEAN ☐ IRISH ☐ OTHER _____
33. HISTORIC CONTEXT(S): ☐ COMMERCE ☐ INDUSTRY ☐ TRANSPORTATION ☐ AGRICULTURE ☐ MILITARY
☐ RELIGION ☐ CIVIC AFFAIRS ☐ RECREATION ☐ HABITATION ☐ EDUCATION
☐ ART, LIT, SCIENCE ☐ SOCIAL _____
34. COMMENTS/SOURCES:
 "Designed in 1845 by the famous architect Richard Upjohn, St. Paul's Episcopal Church of Brunswick is an early Gothic Revival example of a board and batten chapel form which Upjohn popularized throughout the United States. Frank A. Beard & Robert L. Bradley. *St. Paul's Episcopal Church – National Register of Historic Places Inventory – Nomination Form*. TMs. United States Department of the Interior, National Park Service. 1978.
 "In 1858, the arched ceiling was added to improve acoustics. Memorial windows were added between 1868-1873." American Association of University Woman, *From the Falls to the Bay*, 1980.
 1980 – Pejepscot Historical Survey. 27 Pleasant Street was surveyed in 1979 by J. Goff.
 2000 Assessors Database, Town of Brunswick.

35. HISTORICAL DRAWINGS EXIST: ☐ YES ☐ NO LOCATION: _____

ENVIRONMENTAL DATA

36. SITE INTEGRITY: ☒ ORIGINAL ☐ MOVED DATE MOVED _____
 37. SETTING: ☐ RURAL/UNDISTURBED ☐ RURAL/BUILT UP ☐ SMALL TOWN ☒ URBAN ☐ SUBURBAN
 38. QUADRANGLE MAP USED: _____ QUADRANGLE #:
 39. UTM NORTHING: _____ 40. UTM EASTING: _____
 41. FACADE DIRECTION (CIRCLE ONE): ☐ N ☐ S ☐ E ☐ W ☐ NE ☐ NW ☐ SE ☐ SW

=====

MHPC USE ONLY

- DATE ENTERED IN INVENTORY: _____ PHOTO FILE #: _____
 NR STATUS: L ☐ HD ☐ E ☐ NE ☐ ND ☐ REVIEWER _____
 DATA SOURCE: ☐ HPF ☐ CLG ☐ R&C ☐ STAFF ☐ STATE SURVEY ☐ OTHER _____ LEVEL OF SURVEY: ☐ R ☐ I

FORM K:\KIRKARCH-SVY.FRM\HBSSFSVY.MAS

Restoration Resources

November 21st, 2024

Regarding:

St Paul's Episcopal Church

27 Pleasant Street

Brunswick, Maine 04011

Dear Village Review Board,

We are requesting approval for a proposed restoration project at St. Paul's Episcopal Church. Deterioration of the secondary architectural skirting necessitates replacement (photos included). The second layer protrudes into the drip line of the roof which has and will continue to accelerate deterioration. We propose removing both layers of deteriorating skirting and replacing them with a single layer of architectural skirting which would restore the detail to its original design. A historical drawing of the original single layer of architectural skirting is included.

We propose using Azek, an engineered polymer product, in order to reduce ongoing maintenance costs. Due to the location of this skirting, it will have significant moisture exposure. The skirting will be painted to match the exterior.

If you have any questions, please contact our office: 207-586-5680.

Sincerely,

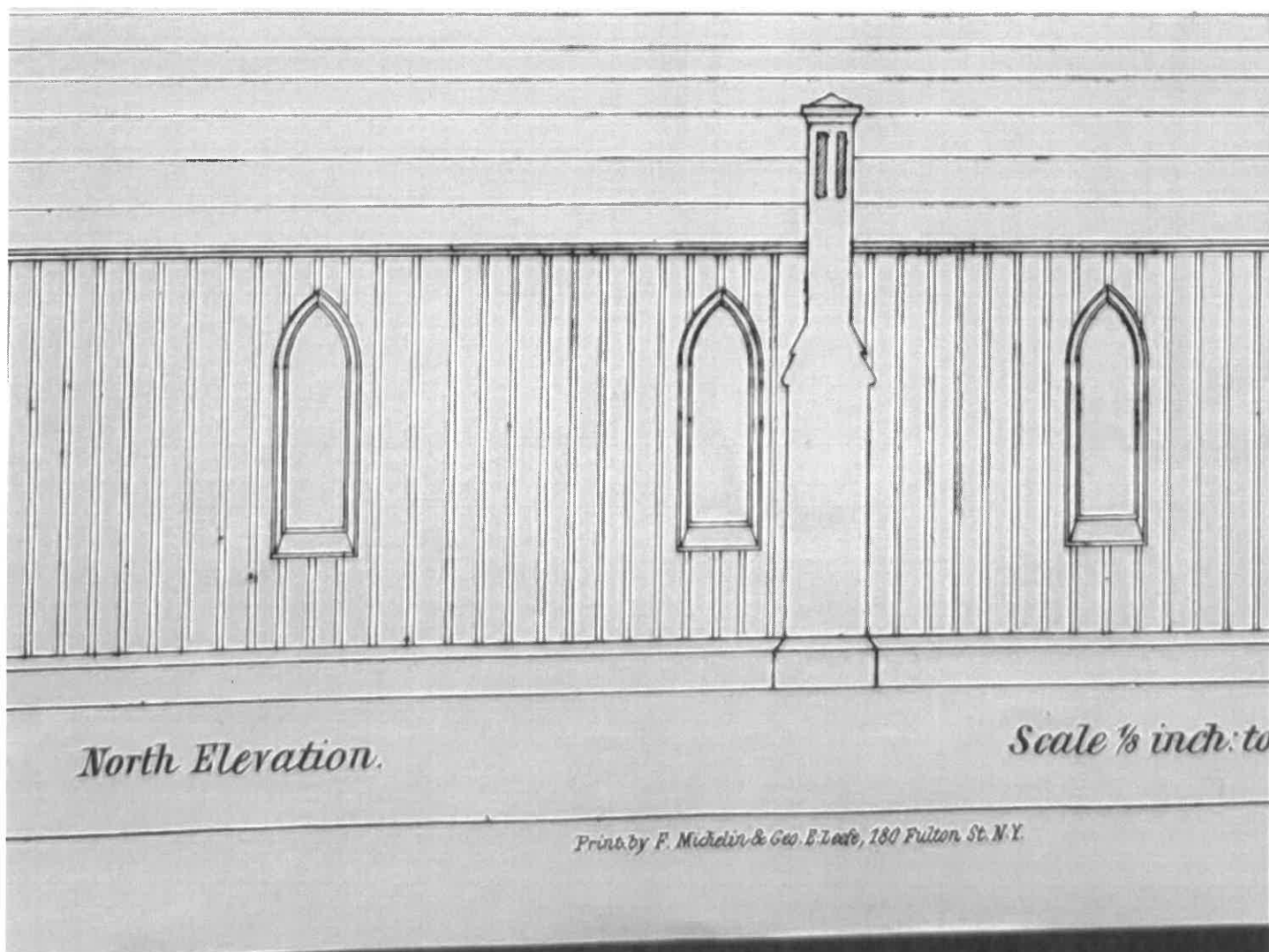


Leah Shipps

cc: Fred Gumkowski



Red line shows the second layer of architectural skirting to be removed. Green line shows the first layer of architectural skirting which will be demolished and replaced in likeness with Azek.



Proposed restoration to a single layer of architectural skirting as shown in this drawing (from architect Upjohn's 1845 book).



Example of deterioration. Many areas of rot have been previously repaired with wood filler which will fail and require continued repairs.



Example of deterioration.



Example of deterioration.

About Restoration Resources, LLC

Restoration Resources has been restoring and preserving 18th and early 19th-century buildings since 1975. Our team, provides restoration and historic preservation services for any structure, from barn or backhouse to stately colonial or ship captain's estate.

We're based in Midcoast Maine: Our education and consulting services, including historic house inspections, are available throughout Maine. In addition, our preservation specialists have the knowledge and passion for restoring your building, no matter the scope.

We take great pride in providing value in our work and look forward to helping restore and preserve the wonder of your home, old barn, outbuildings, and more.